



**HELMAN
SECHRIST**
ARCHITECTURE

129 NORTH 2ND ST.
ELKHART, IN 46516
(574) 294-6674
helmansechrist.com

PROJECT NUMBER:

1925

DATE:

27 MAY 2020



DJ CONSTRUCTION
decidedly different

ADDITIONS & RENOVATIONS FOR

RAPIDVIEW

1828 OLSON ROAD
ROCHESTER, INDIANA 46975

SHEET INDEX.

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VICINITY MAP



PERSPECTIVE VIEW

NOTE:
PERSPECTIVE VIEW SHOWS MAJOR BUILDING ELEMENTS ONLY. COMMON ELEMENTS, TRIM, FINISH TEXTURES, AND LIKE ITEMS WHICH MAY NOT APPEAR IN THESE VIEWS SHOULD NOT BE ASSUMED TO BE OMITTED. DEPICTED RENDERING IS CONCEPTUAL IN NATURE ONLY AND SHALL NOT BE ASSUMED TO BE THE FINAL DESIGN. REFER TO ELEVATIONS AND DETAILS FOR FINAL CONSTRUCTION DOCUMENTATION.

CODE SUMMARY:

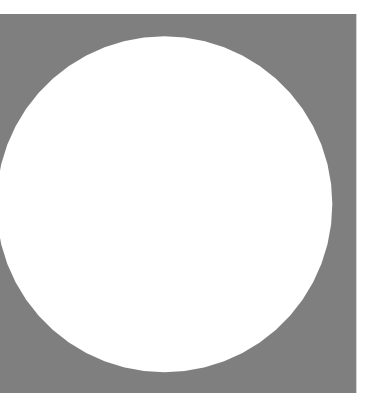
OCCUPANCY: BUSINESS GROUP B. STORAGE S1 (BASEMENT)
CONSTRUCTION TYPE: TYPE V-B NON. SPRINKLED
ALLOWABLE AREA:
TABULAR BUILDING AREA PER FLOOR (IBC TABLE 503): 9,000 S.F.
BUILDING AREA MODIFICATIONS (IBC 506): AREA INCREASE DUE TO FRONTAGE = $[420' / 514' - 25] \times 30 / 30 = .57$
ALLOWABLE AREA PER STORY = $[9,000 + (9,000 \times .57)] + [9,000 \times 0] = 14,130$ S.F.
ACTUAL MAXIMUM AREA PER STORY = 12,197 S.F.
BASEMENT EXITING:
IBC 903.2.11.1: BASEMENTS OF 1,500 S.F. OR LESS MAY BE SERVED BY A SINGLE EXIT. ACTUAL AREA OF BASEMENT = 918 S.F.
IBC TABLE 1021.2 (2): BASEMENTS WITH S OCCUPANCIES OF 29 OR FEWER OCCUPANTS MAY BE SERVED BY A SINGLE EXIT. ACTUAL OCCUPANCY OF BASEMENT = 918 S.F. / 300 = 4 OCCUPANTS
IBC TABLE 508.4: NO OCCUPANCY SEPARATION SHALL BE REQUIRED BETWEEN B (FIRST FLOOR) AND S1 (BASEMENT) OCCUPANCIES.

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SET NUMBER:



CONSTRUCTION PLANS FOR:

RAPIDVIEW BUILDING EXPANSION

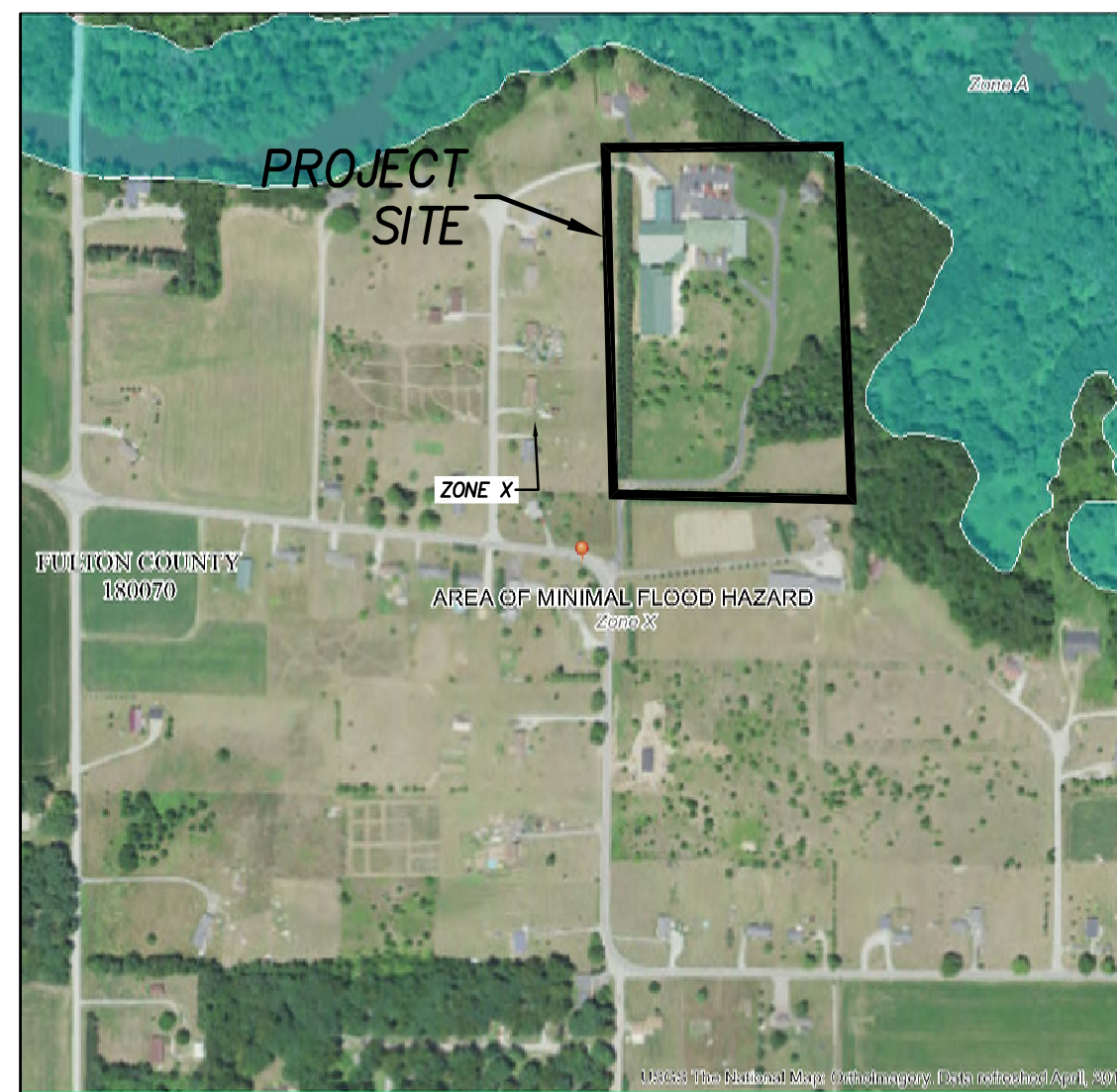
1828 W OLSON ROAD, ROCHESTER, INDIANA 46975

PART OF THE SOUTH 1/2, OF SECTION 26, TOWNSHIP 31 NORTH, RANGE 2 EAST, ROCHESTER TOWNSHIP, FULTON COUNTY, INDIANA



SOURCE: GOOGLE MAPS

PROJECT SITE VICINITY MAP
(NOT TO SCALE)



"ZONE AE" = AREAS DETERMINED TO BE WITHIN THE 1% ANNUAL CHANCE FLOOD WITH BASE FLOOD ELEVATION DETERMINED AND IDENTIFIED ON THE FEMA MAP
 [Symbol] = OTHER FLOOD AREAS
 "ZONE X" (UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD

FEMA FLOOD INSURANCE RATE MAP (FIRM)
(NOT TO SCALE)

PANEL 18039C0142D
DATED AUGUST 2, 2011

UTILITY CONTACTS

FULTON COUNTY R.E.M.C.
1448 WEST S.R. 14
ROCHESTER, IN 46975
(574) 223-3156

ROCHESTER TELEPHONE AND COMMUNICATIONS CORPORATION (RTC)
P.O. BOX 507
117 WEST EIGHTH STREET
ROCHESTER, IN 46975
(574) 223-2191

UTILITY INFORMATION

UTILITY LOCATIONS ARE TAKEN FROM SUBSTANTIAL ABOVE GROUND EVIDENCE AND APPROXIMATED FROM RECORD AS-BUILTS MADE AVAILABLE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, HYDRANTS, VALVES, UTILITY PEDESTALS AND BOXES, AND MARKS/FLAGS SET ON THE GROUND SURFACE BY OTHERS). PIPE INVERTS HAVE BEEN MEASURED WITH AS MUCH ACCURACY AS CAN BE ACHIEVED WITHOUT CONFINED SPACE ENTRY. CAUTION: THERE MAY BE OTHER UTILITIES EXISTING BELOW GROUND THAT WERE NOT MARKED BY OTHERS NOR HAVE VISIBLE ABOVE GROUND EVIDENCE. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING LOCATIONS AND DEPTHS OF ALL UTILITIES AND PIPING AS NECESSARY PRIOR TO ANY AND ALL CONSTRUCTION. CONTACT ENGINEER IF ANY DISCREPANCIES DISCOVERED.

811 Know what's below.
Call before you dig.
CALL 811 OR (800) 382-5544
24 HOURS A DAY, SEVEN DAYS A WEEK



SOURCE: GOOGLE EARTH

LOCATION MAP - AERIAL IMAGE
(NOT TO SCALE)

SHEET INDEX

SHEET C0.0	COVER SHEET
SHEET C1.0	SITE LAYOUT PLAN
SHEET C2.0	GRADING AND DRAINAGE PLAN
SHEETS C3.0-C3.1	CONSTRUCTION DETAILS
SHEET C4.0	EROSION CONTROL PLAN

GENERAL CONTRACTOR

DJ CONSTRUCTION
decidedly different

3414 ELKHART ROAD
GOSHEN, IN 46526
(574) 533-1645

OWNER / DEVELOPER

RAPIDVIEW
1828 OLSEN ROAD
ROCHESTER, IN 46975

CIVIL ENGINEER / SURVEYOR

ABONMARCHÉ CONSULTANTS, INC.
1009 SOUTH 9TH STREET
GOSHEN, IN 46526
(574) 533-9913

ABONMARCHÉ

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Benton Harbor
Cobden
Ellettsville
Lafayette
Fort Wayne
Valparaiso

Engineering - Architecture - Land Surveying

PROJECT: **RAPIDVIEW BUILDING EXPANSION**

1828 W OLSON ROAD, ROCHESTER, INDIANA 46975

SHEET TITLE: **COVER SHEET**

DRAWN BY: **RLG**

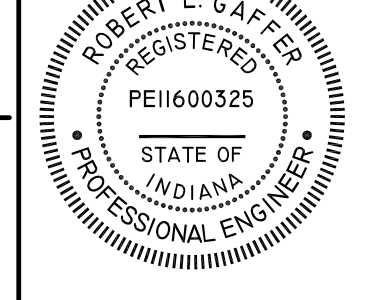
DESIGNED BY: **RLG**

PM REVIEW: **RLG**

QA/QC REVIEW: **BEM**

DATE: **06-02-20**

SEAL:



SIGNATURE: *Robert L. Gaffner*

DATE: **06-02-20**

HARD COPY IS INTENDED TO BE 24" X 36" WHEN PLOTTED. SCALE(S) INDICATED AND GRAPHIC QUALITY MAY NOT BE ACCURATE FOR ANY OTHER SIZES

SCALE:
HORIZ:
VERT:

ACI JOB # **19-1553**

SHEET NO. **C0.0**

GENERAL NOTES

1. Current Zoning: "Agricultural"
2. Existing Land Use: Commercial
Proposed Land Use: Commercial
3. The project site is serviced by private water well and septic system. It is proposed that this project relocate the existing septic system.
4. Setbacks shall conform to Fulton County Zoning Ordinance unless the proper variances have been approved.
5. Current drainage patterns shall be maintained in the completed conditions. Site/Building drainage shall be managed onsite.
6. Proposed parking areas shall be paved and privately owned.

TABULATED SITE DATA

SITE = 7.32±
Project Area = 0.92±

Proposed Land Coverage	Area (Acres)	Percentage
Building, Proposed	0.39	42.4%
Pavement, Existing and Proposed	0.51	55.4%
Open Space	0.02	2.2%
	0.92	100%

BUILDING USE

Proposed Building
Single Floor Footprint Area = 37,700± SF
Number of Employees = 20

PARKING CALCULATIONS

Visitor Parking Required: 1.8 Space for Each Employee on largest shift

(1.8 Space / 1 Employees) x 20 Employees = 36 Spaces
Total Required 36 Spaces

Visitor Parking Provided: 16 Spaces (Including 1 ADA Space)*
*Employee Parking Provided on North Side of Building

PAVEMENT RECOMMENDATIONS

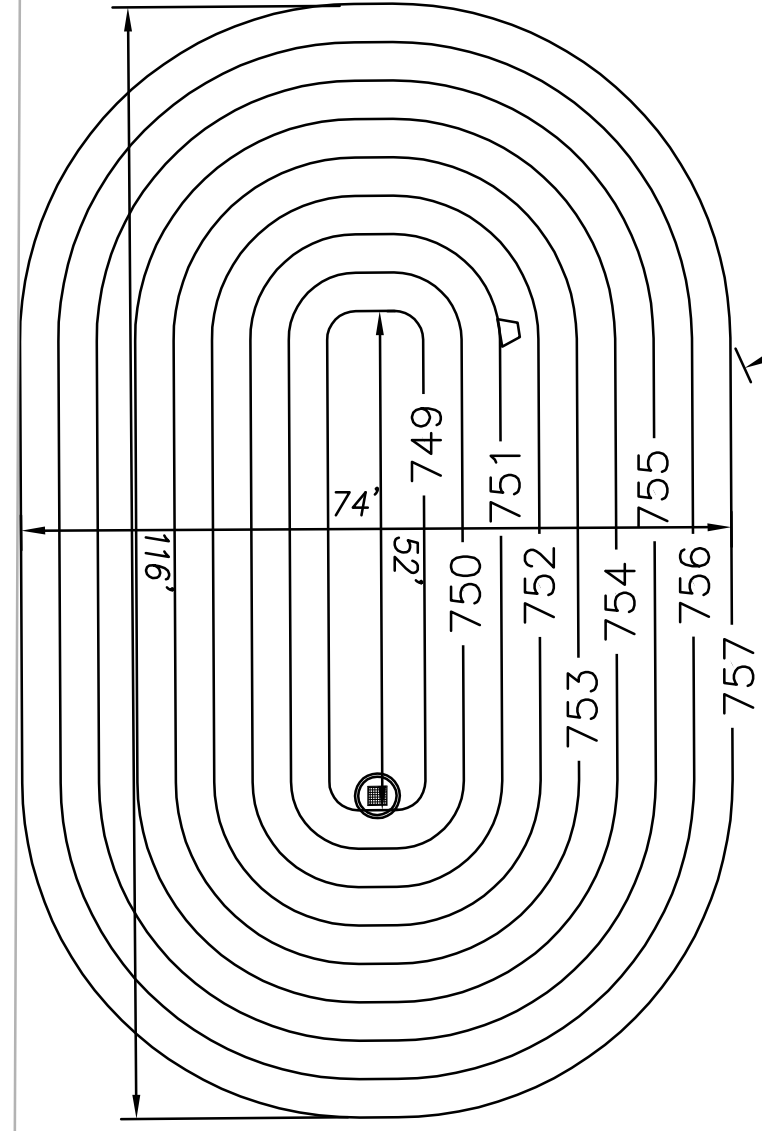
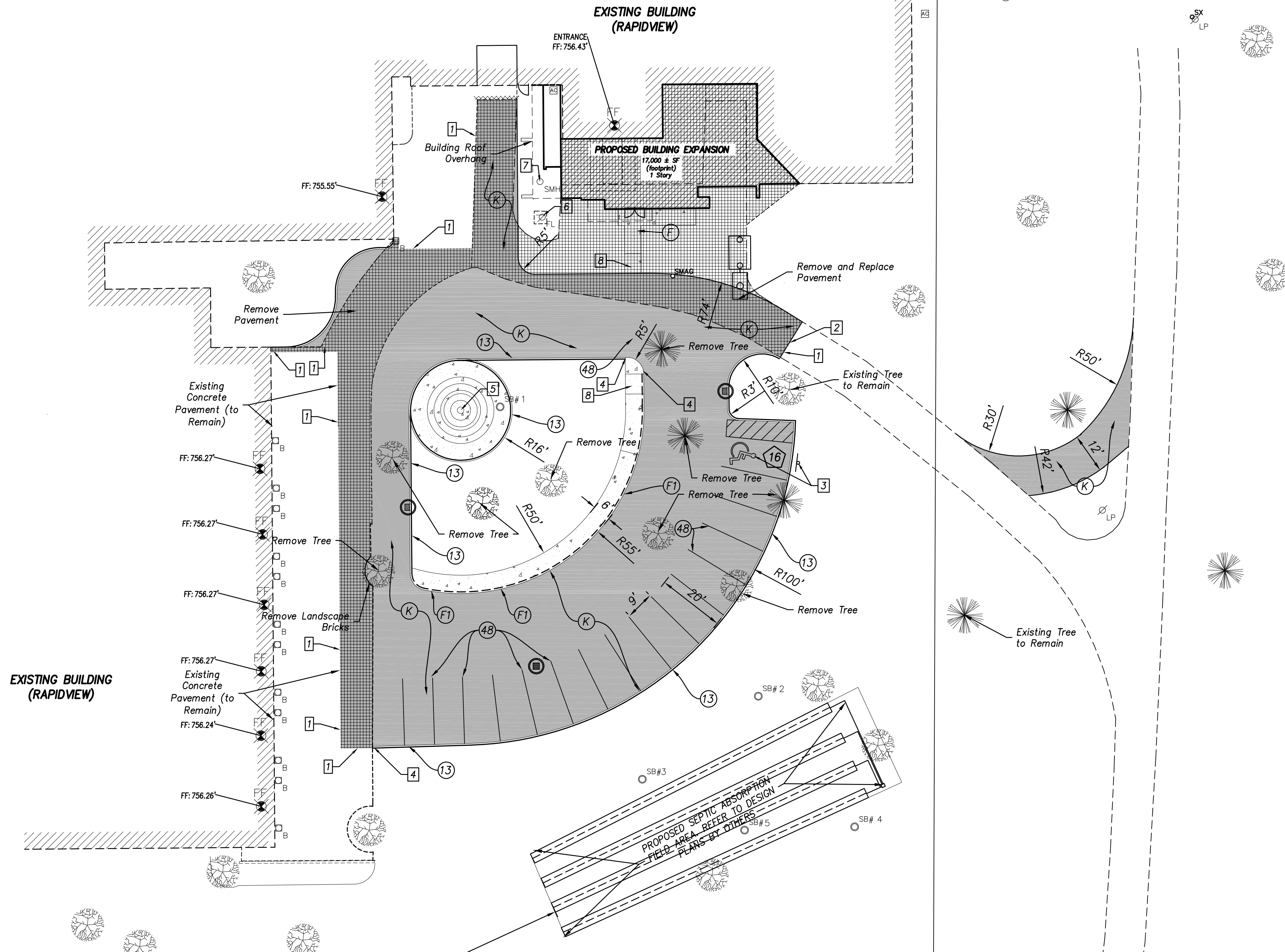
CONTRACTOR SHALL FOLLOW 2018 INDOT SPECIFICATION FOR ALL PAVEMENT MATERIALS AND INSTALLATION PROCEDURE.

HEAVY-DUTY ASPHALT PAVEMENT (DRIVE AISLE/LOADING AREAS)

- 1 1/2" HMA Surface (165 lbs/syd)
- 4" HMA Base (440 lbs/syd)
- 6" Compacted INDOT #53 Aggregate

KEYNOTE LEGEND

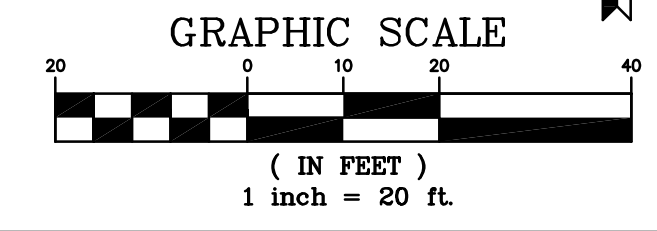
- # Number of Parking Spaces
- ♿ ADA International Symbol of Accessibility
- 1 Saw cut existing pavement to create a clean butt joint. Match existing elevations.
- 2 Saw cut existing pavement full depth for removal.
- 3 ADA sign, post, and concrete bumper.
- 4 Curb end transition (transition from 6" reveal to 0").
- 5 Relocated Flag Pole - Coordinate with Owner for Height and Concrete Joints Pattern/Spacing.
- 6 Relocate Flag Pole.
- 7 Intercept Existing Septic and Relocate per Septic Design Plans.
- 8 ADA Compliant Ramp
- 13 6" Standard Curb.
- 46 4" Wide Pavement Markings
- F Integral Walk and Curb.
- F Concrete Walk; 4" Thick.
- K Heavy Duty Asphalt.

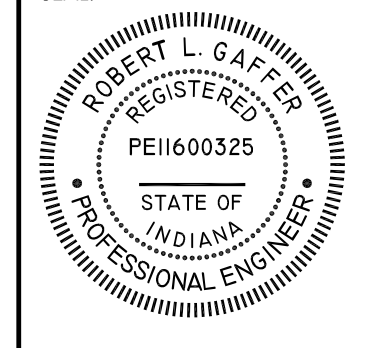


138±
50' Minimum Per Indiana Commercial Septic Code IAC 410

ROBISON, REX E & KRISTINA M.
PARCEL NUMBER 25-02-26-300-003.10-008

ROBISON, REX E & KRISTINA M.
PARCEL NUMBER 25-02-26-300-003.001-008





GENERAL NOTES

- Construction, Materials, and Testing shall be in accordance with the latest Standard Construction Specifications of Fulton County.
- Contractor shall inquire all utility companies prior to construction for locations of underground utilities. Any damages done to any public and/or private properties during construction shall be repaired at the Contractor's expense.
- Unsuitable materials that could affect the integrity of the pipes and/or pavement shall be properly treated.
- Any removed and/or disturbed pavement, sidewalk, curb, etc., shall be replaced using the same type of material and brought back to its original grade and alignment.
- No closing of streets shall be permitted without prior approval from the Fulton County.
- Contractor shall take all necessary precautions to protect the work and safety of the public and provide, erect, and maintain all necessary barricades, suitable and sufficient lights, danger signals, signs, and other traffic control devices in accordance with the Indiana Manual on Uniform Traffic Control Devices for Streets and Highways.
- Contractor shall obtain all necessary project permits from all respective governmental agencies. If required by Fulton County, the Soil Erosion and Sedimentation Control Permit will also be obtained by the contractor.
- All backfill for pipe trenches and site grading shall be performed in 6-inch lifts maximum with suitable granular material and compacted to 100% Standard Proctor to proposed subgrade. Pipe bedding shall be in accordance with ASTM D-2321 for flexible and rigid pipe. Compaction testing shall be done by a qualified soil testing firm approved by the General Contractor.
- Contractor shall verify the water table and include in the bid the cost for dewatering. The water table shall be lowered to 24 inches below the pipe invert prior to installation. The Developer has performed soil borings and can provide a copy upon request.
- Water and sewer pipes shall have a minimum horizontal separation of 10 feet from edge of pipe to edge of pipe. Whenever water pipes must cross above or below sewer pipes, a minimum vertical separation of 18 inches is required between the outside of the water pipe and the outside of the sewer pipe. If this cannot be met, the sewer pipe shall be constructed of water grade pipe meeting AWWA Standards for a distance of 10 feet each side of the water pipe. At crossings, one full length of water pipe shall be installed so that the joints will be as far from the sewer pipe as possible.
- Discrepancies or conflicts in the plans and/or site conditions shall be communicated to the General Contractor / Engineer to ensure that clarifications and/or revisions can be made prior to construction.

GRADING NOTES

- Contractor shall follow the latest Indiana "Rule 5" Soil Erosion Practices.
- All topsoil shall be removed and stockpiled onsite at a location approved by the Owner. A minimum of four (4) inches of topsoil shall be placed on all disturbed areas outside the building and parking areas.
- Topsoil shall not be placed on the bottom and sides of the retention basins. Retention basin banks shall receive a sandy loam mixture. See Construction Details.
- Retention Basin shall be stabilized with erosion control blankets once final grading is completed.
- All exposed subgrade shall be proof-rolled and witnessed by a Geotechnical Engineer or qualified representative to determine unsuitable soil locations prior to any paving operations. Any unsuitable soil shall be excavated, backfilled, and compacted with suitable material in accordance with the plans and capable of supporting the anticipated loadings of the project.
- Positive drainage shall be maintained to prevent any ponding of water or encroachment onto adjacent properties.
- Finish grade at all building doorways equals the building finish floor elevation unless otherwise noted.
- Proposed contours show grading intent only. Contractor shall use proposed spot grade elevations and check all grade stakes to ensure positive drainage to stormwater system is achieved. Contact Engineer if additional grades are needed or if any discrepancies or conflicts which become apparent before or during construction are found so that clarification or redesign may occur.

DRAINAGE CALCULATIONS

The proposed site shall utilize a proposed retention basin designed to accommodate a 100 Year 24 hour rainfall event pursuant to the Fulton County Surveyor's Office Stormwater Drainage Policy and Technical Review Requirements for retention storage design. Discussions with the Fulton County Surveyor's Office stated that only proposed impervious areas shall be retained. This area is 0.30± Acres and uses a runoff coefficient of 0.95. Rainfall intensity obtained from Fulton County NOAA database.

DRAINAGE AREA - 0.30 Acres (12,200 SF) (Impervious Area)

POST-DEVELOPED CALCULATIONS

BUILDING / HARD SURFACE / LAWN
 Buildings (C=0.95) = 0.07 acres
 Hard Surface (C=0.95) = 0.23 acres
 Total = 0.3 acres

MODIFIED RUNOFF COEFFICIENT CALCULATIONS

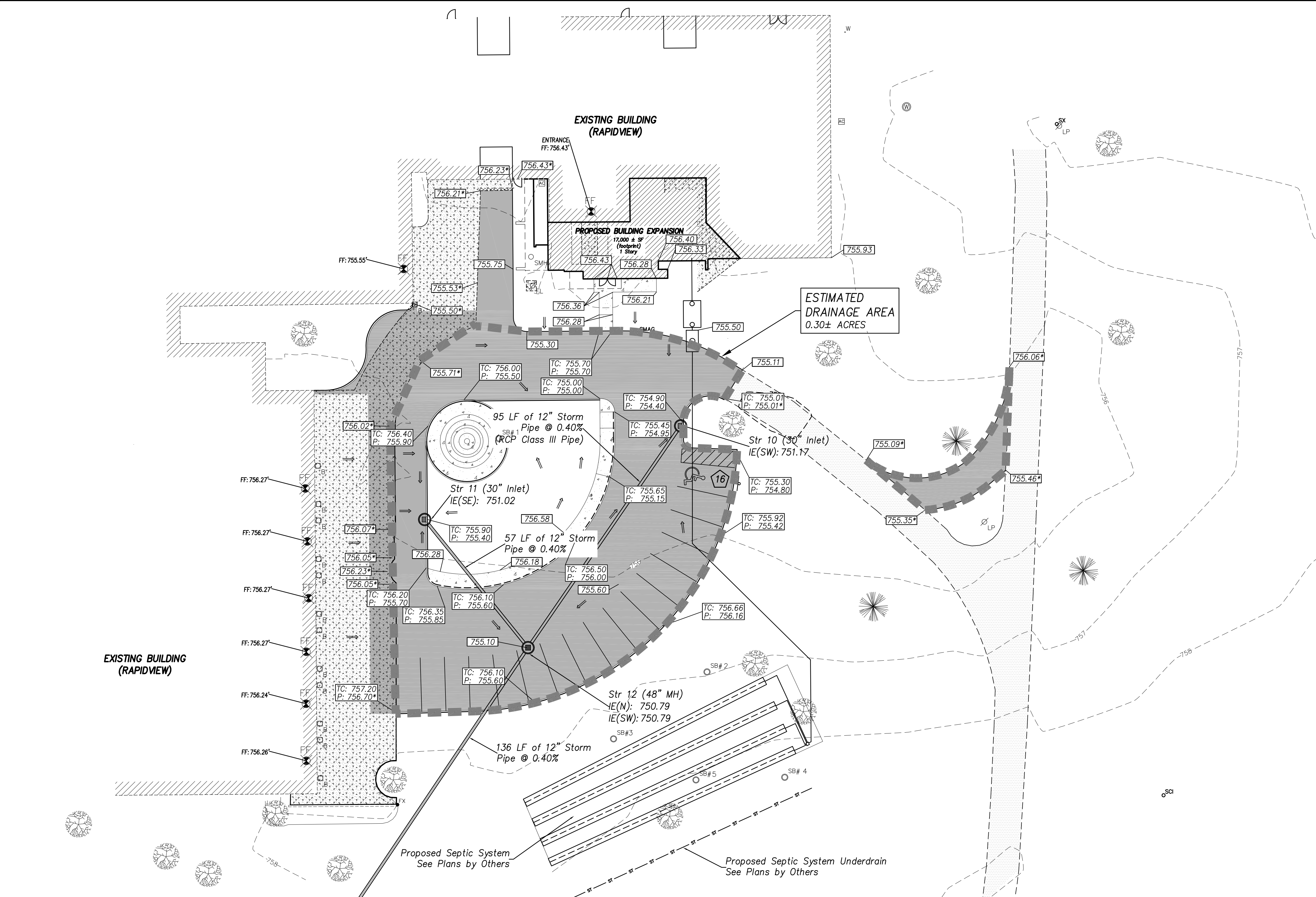
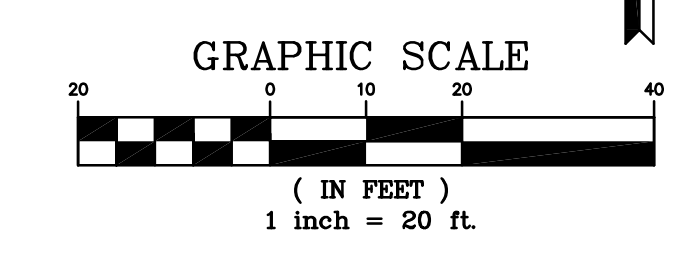
$((0.07 + 0.23) \times 0.95) = 0.95$
 0.30 acres

STORAGE CALCULATIONS

Storage Required = $C \times \text{Rainfall Intensity (Feet)} \times \text{Area (SF)} \times 24 / 12$
 $= 0.95 \times 0.26 \text{ in/hr} \times (12,200 \text{ SF}) \times 24 / 12$
 $= 6,026 \text{ cft (0.14 Acre-Feet)}$
 Storage Provided = 0.25 Acre-Feet

DRAINAGE LEGEND

- 100.00 Proposed Spot Grade / Rim Elevation
- 100.00* Existing Spot Grade / Rim Elevation
- FF Finished Floor Elevation
- 2.0\% Hard Surface Slope
- --- Drainage Direction



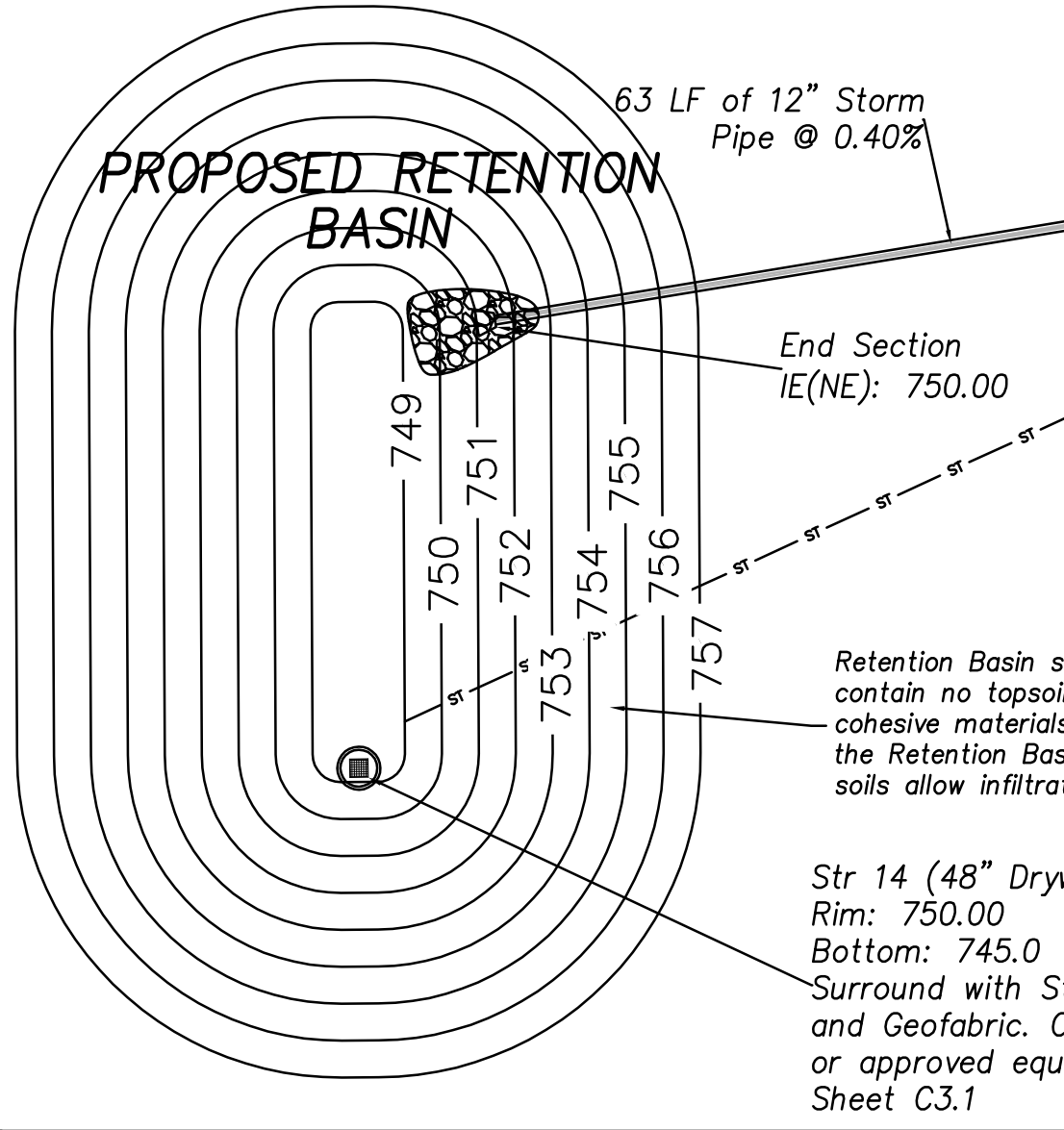
Point #	Northing	Easting	Elevation	Description
1	190590.4214	795549.8665	762.15	FIR -3
2	190604.1052	792879.3132	756.71	FIR -2
3	195822.3369	792881.1458	764.34	FIR FL
4	192388.9741	794517.2284	755.51	SMAG
5	192217.0159	794712.7047	758.75	SCI TRAV 3/8 RB
6	192466.6743	794672.9976	759.90	SX IN LPB +2.5 W
7	192213.5228	794427.7327	757.56	FX SQOUT

PROPOSED RETENTION BASIN

Top of Bank = 757.0
 Design High Water = 754.0
 Basin Bottom = 749.0±
 Side Slopes = 4:1
 Groundwater not encountered in test pits approximately 12 feet deep

Contour	Area (sqft)	Average (sft)	Volume (acre-ft)
749.0	512		
750.0	1038	775	0.018
751.0	1664	1351	0.031
752.0	2391	2028	0.047
753.0	3218	2805	0.064
754.0	4145	3682	0.085
755.0	5174	4660	0.107
756.0	6303	5739	0.132
757.0	7532	6918	0.159

Volume Below 754 = 0.24 Acre-Feet
 Volume Between 754.0 and 757.0 = 0.40 Acre-Feet

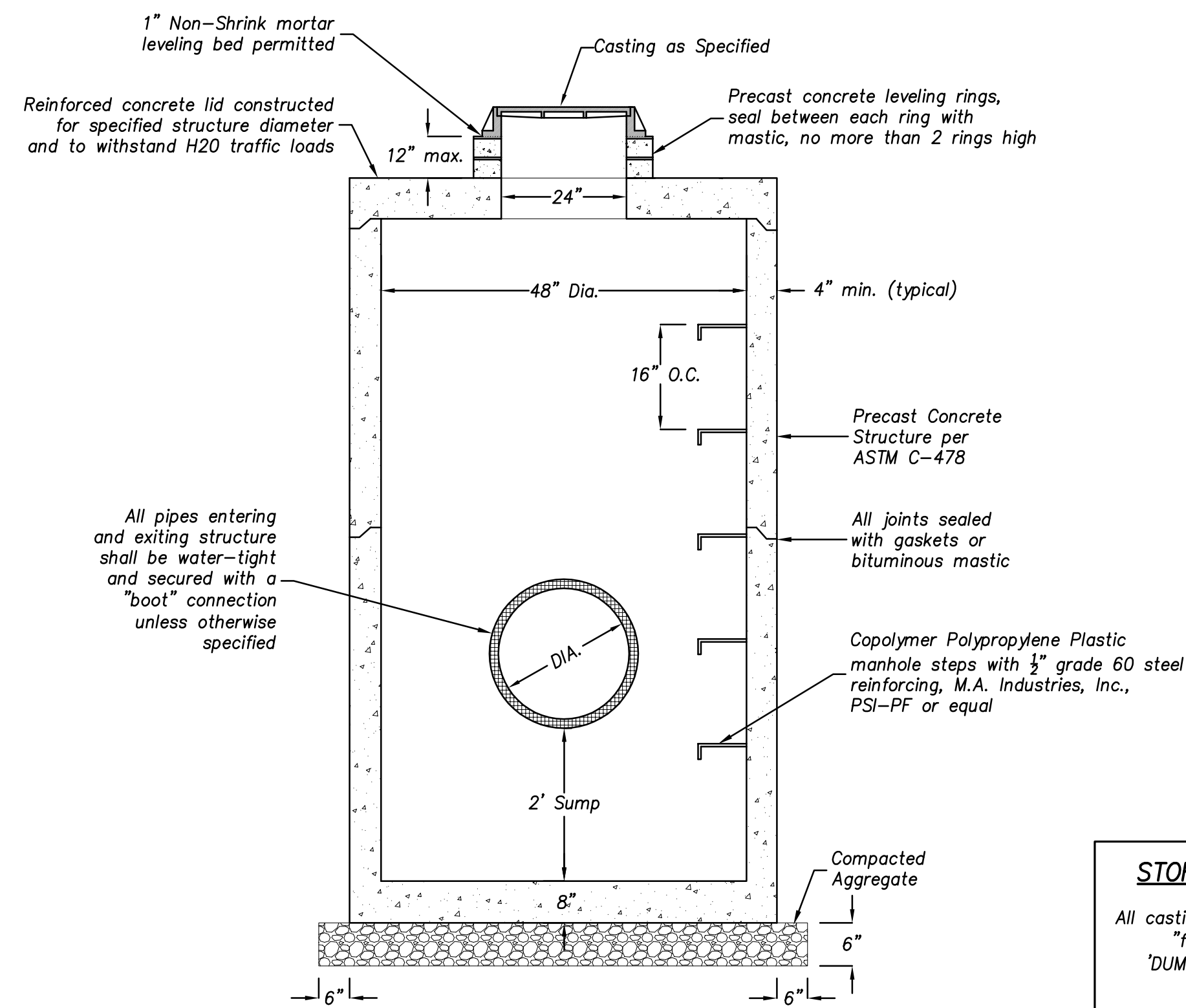


Retention Basin shall consist of natural uncompacted soil and contain no topsoil disposal, tree trunks, branches, organics, cohesive materials, etc. No mining activities shall occur in the Retention Basin Area in order to ensure natural sandy soils allow infiltration to fullest extent possible.

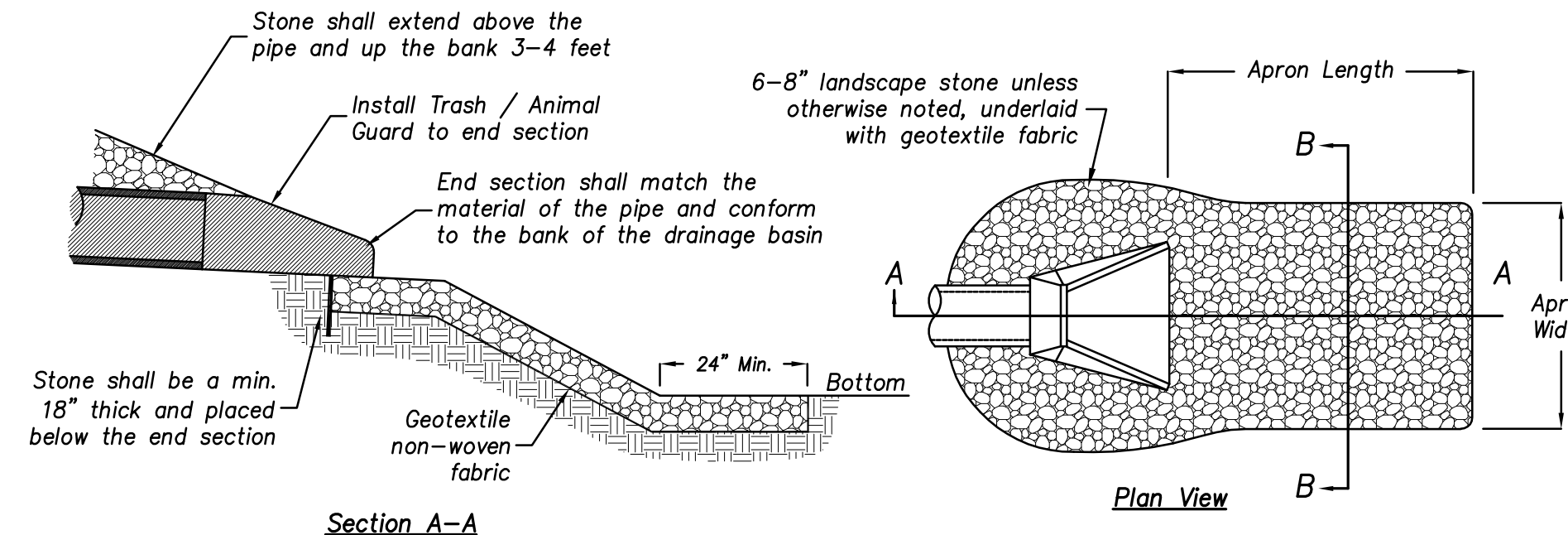
Str 14 (48" Drywell)
 Rim: 750.00
 Bottom: 745.0
 Surround with Stone and Geofabric. Casting Neenah R-2502 or approved equal. Refer to detail on Sheet C3.1

C:\Projects\2019\1828 Olson Road\Construction\Drawings\19-1553 Grading and Drainage\Plan\1828 Olson Road\1828 Olson Road.dwg, 11/11/2019 1:38:08 PM, agaffney, 1:1

CONSTRUCTION AND TESTING SHALL BE IN ACCORDANCE WITH FULTON COUNTY ENGINEERING STANDARDS AND SPECIFICATIONS



STANDARD 48" DIA. STORM MANHOLE WITH SUMP
(NOT TO SCALE)



SIZING OF FLOW DISSIPATERS AT PIPE OUTLETS

PIPE SIZE	AVERAGE STONE DIA.	APRON WIDTH	APRON LENGTH
8 in.	3 in.	6 ft.	7 ft.
12 in.	5 in.	6 ft.	12 ft.
18 in.	8 in.	6 ft.	18 ft.
24 in.	10 in.	8 ft.	22 ft.
30 in.	12 in.	10 ft.	28 ft.
36 in.	14 in.	12 ft.	32 ft.

**PIPE END SECTION TREATMENT
A/K/A RIPRAP APRON OR
ENERGY DISSIPATER**
(NOT TO SCALE)

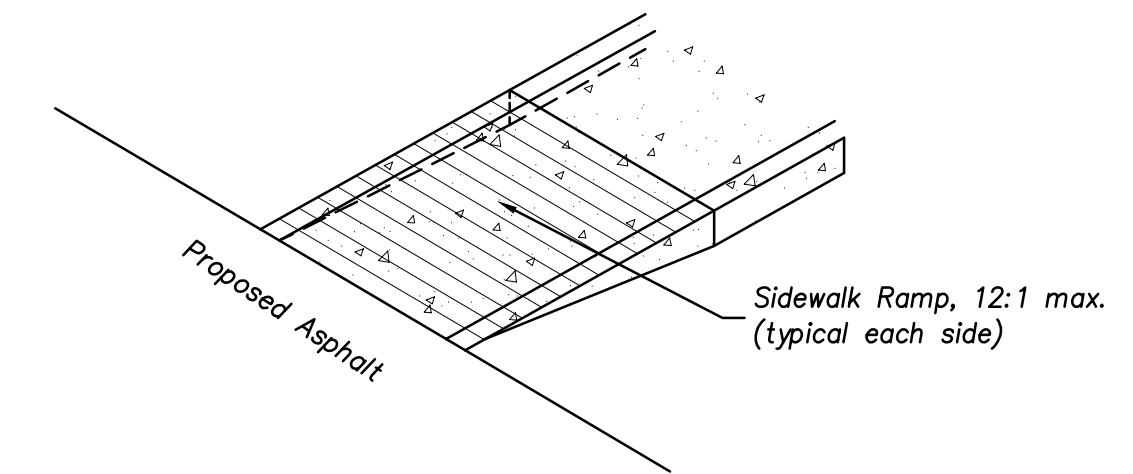
MAINTENANCE GUIDELINES

1. Inspection should occur at least once a week and following each 1/2" or more rain event.
2. Inspect for stone displacement; replace stones ensuring placement at finished grade.
3. Check for erosion or scouring around sides of the apron; repair immediately.
4. Check for piping or undercutting; repair immediately.



CONSTRUCTION NOTES (STORM SEWER)

1. Storm sewer pipe shall meet the Fulton County for material and installation.
2. Structures shall be pre-cast concrete conforming to ASTM C-478 meeting the design standards stated above.
3. All terminating pipes shall be provided with end sections and protected against soil erosion by using stone/riprap as specified. See the Construction Detail on the Erosion Control Sheet named "Pipe End Treatment" for additional information on protecting the end of terminating pipes.



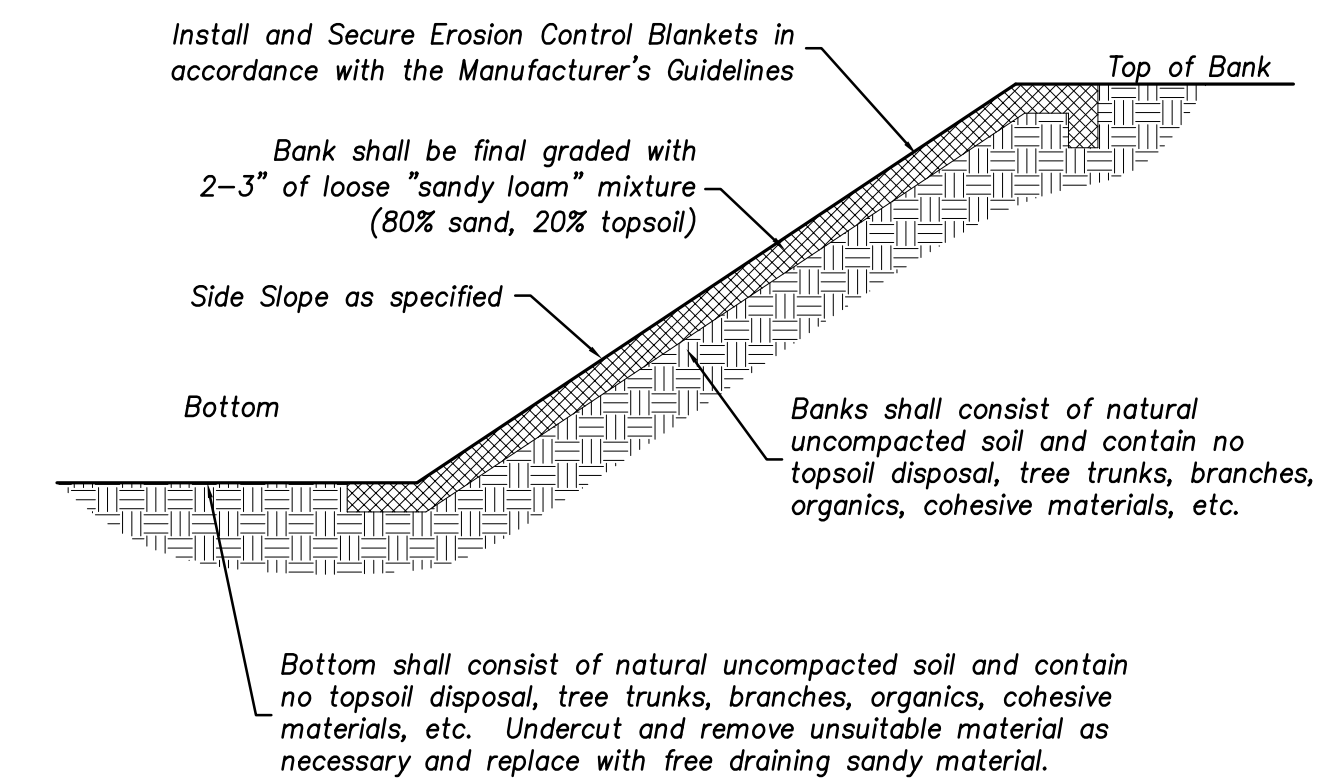
ADA RAMP DETAIL
(NOT TO SCALE)

STORM SEWER CASTINGS
All castings shall be stamped with the "fish" image and lettering "DUMP NO WASTE - DRAINS TO WATERWAYS"

STRUCTURES IN CURB
NEENAH R-3010 or approved equal

STRUCTURES IN PAVEMENT
NEENAH R-1642 or approved equal

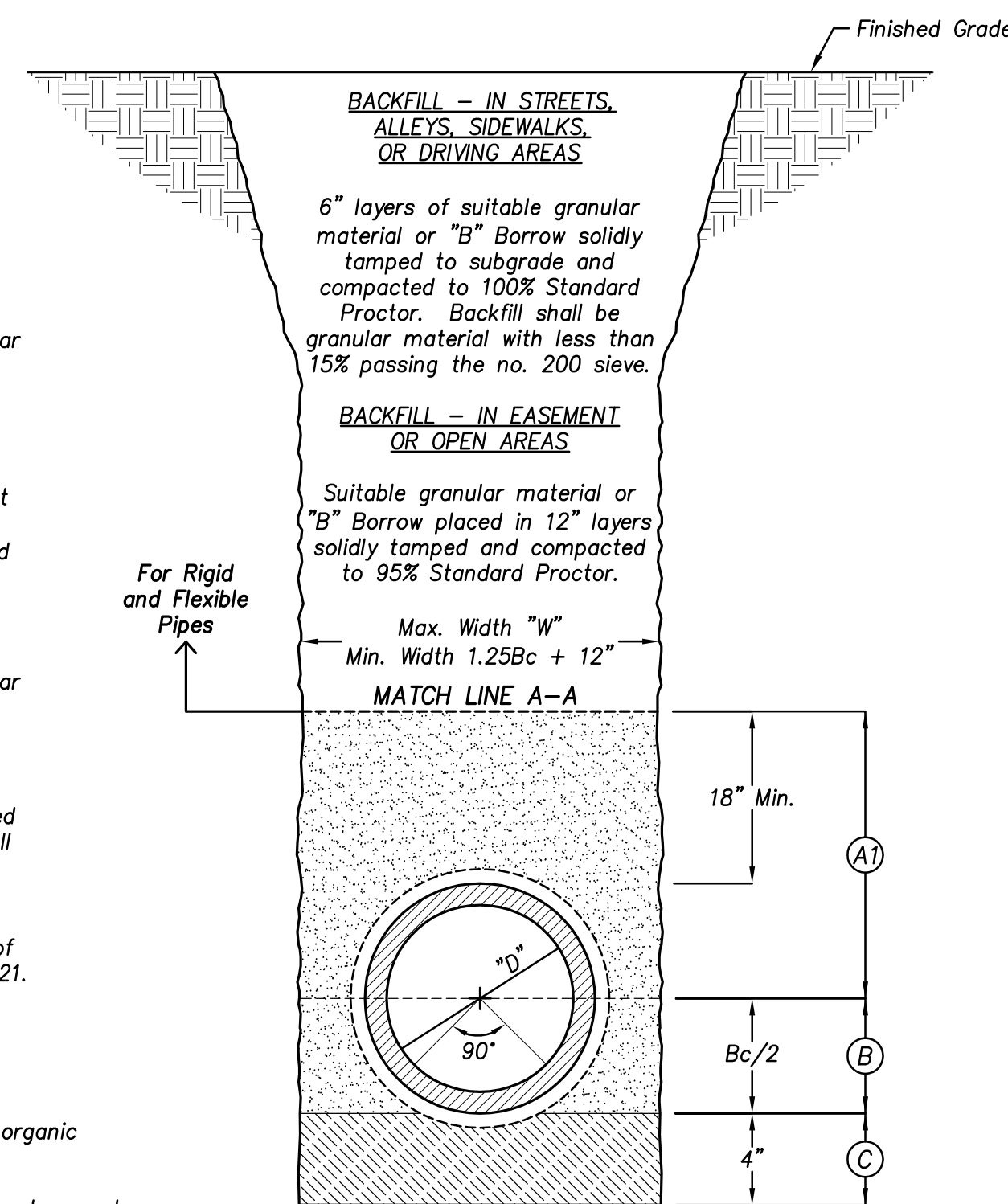
STRUCTURES IN LAWN AREAS
NEENAH R-2560-C or approved equal "Beehive"



**RETENTION BASIN BANK DETAIL
EROSION CONTROL BLANKETS**
(NOT TO SCALE)

SITE GRADING, PIPE BEDDING, AND BACKFILL DETAIL FOR ALL UTILITY PIPING

- (A1) Hand placed backfill and mechanically tamped in 6" layers using suitable granular material approved by a Geotechnical Engineer or "B" Borrow.
- (A2) Crushed stone or gravel, INDOT No. 8, 9, or 73 with a 50% mechanical crush count conforming to ASTM D-2321 Class I or II material, installed in 4" balanced lifts and mechanically tamped.
- (B) Hand placed backfill and mechanically tamped in 4" layers using suitable granular material approved by a Geotechnical Engineer or "B" Borrow.
- (C) Pipe shall be bedded firmly on undisturbed ground, excavate for bells, no weight shall be supported by the bells.
- (D) Pipe shall be bedded on a minimum 4" of Class I, II, or III material per ASTM D-2321.

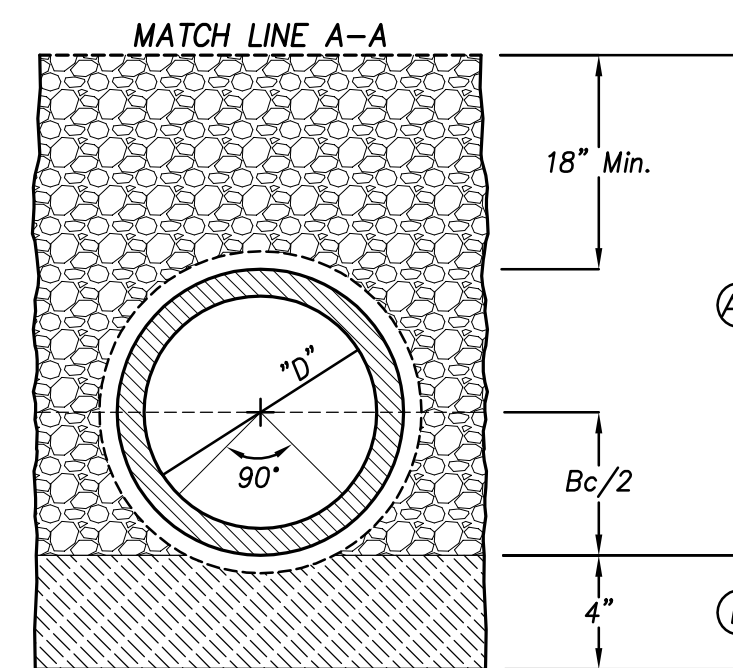


**RIGID PIPE BEDDING DETAIL
(RCP & DI)**
(NOT TO SCALE)

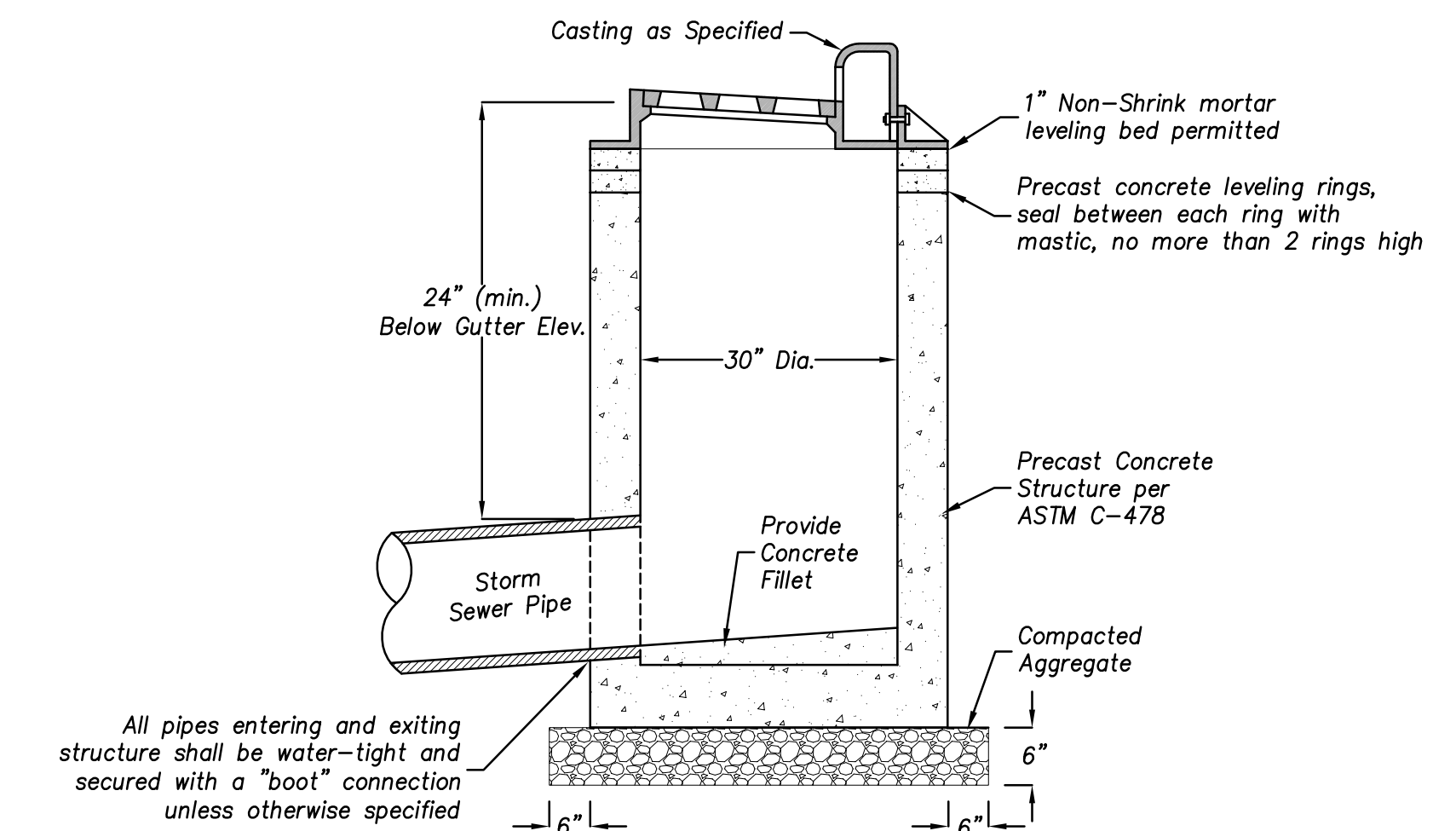
ALLOWABLE MAXIMUM WIDTH OF TRENCH AT TOP OF PIPE

PIPE DIA.	"W"
6"	18"
8"	24"
10"	24"
12"	30"
15"	35"
18"	39"
21"	42"
24"	45"
27"	48"
30"	53"
36"	68"
42"	75"
48"	82"

An allowable "W" of 30" will be permitted where depth of cut exceeds 12 ft. and extra strength pipe is specified.
D = Pipe diameter (internal)
Bc = Pipe diameter (external)

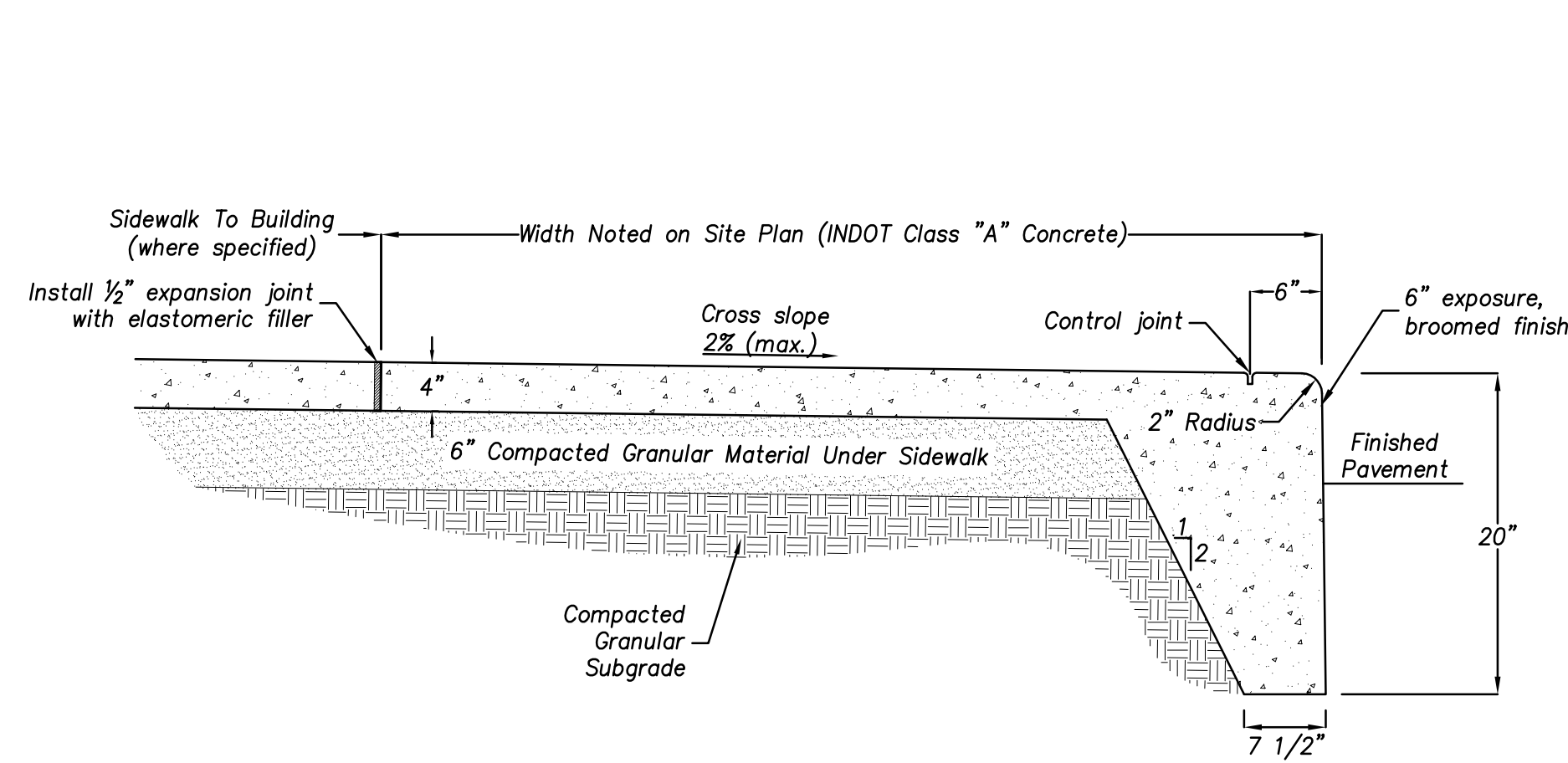


**FLEXIBLE PIPE BEDDING DETAIL
(PVC, CMP, HDPE)**
(NOT TO SCALE)

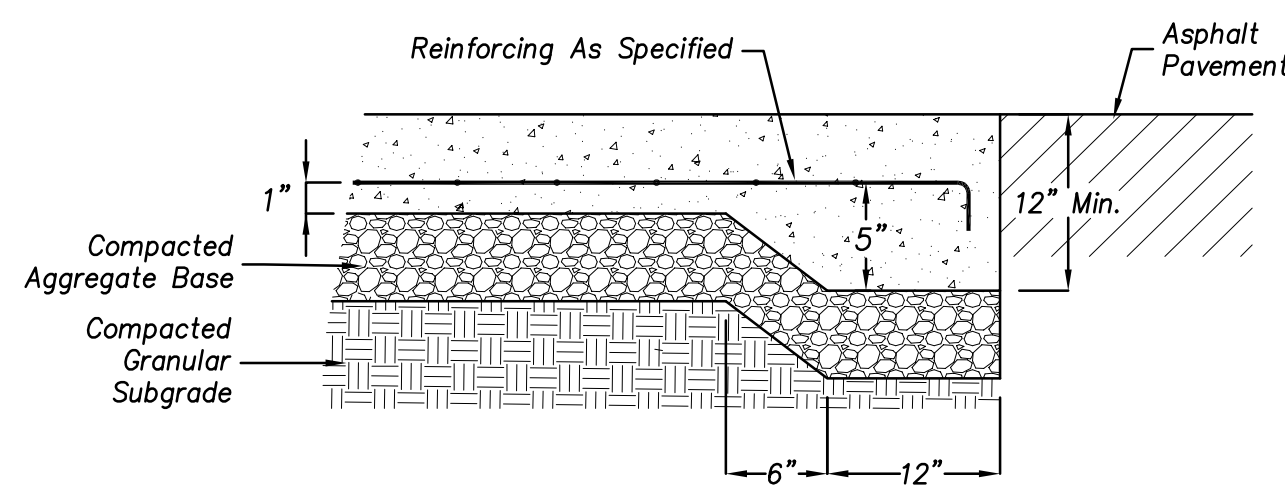


STANDARD 30" DIA. STORM INLET
(NOT TO SCALE)

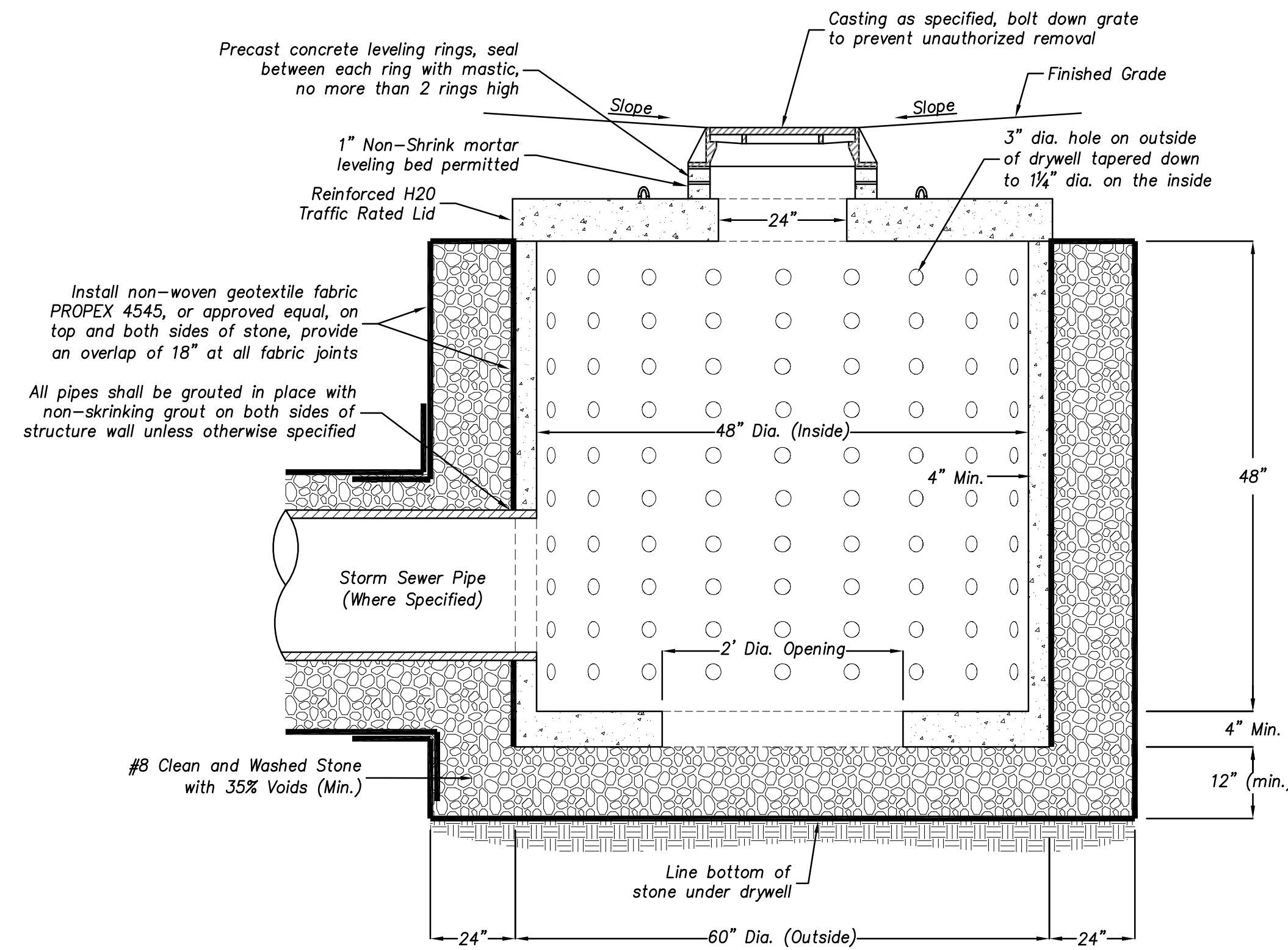
CONSTRUCTION AND TESTING SHALL BE IN ACCORDANCE WITH FULTON COUNTY ENGINEERING STANDARDS AND SPECIFICATIONS



TYPICAL INTEGRAL CURB/SIDEWALK SECTION
(NOT TO SCALE)



CONCRETE PAVEMENT TRANSITION
ADJACENT TO ASPHALT PAVEMENT
(NOT TO SCALE)

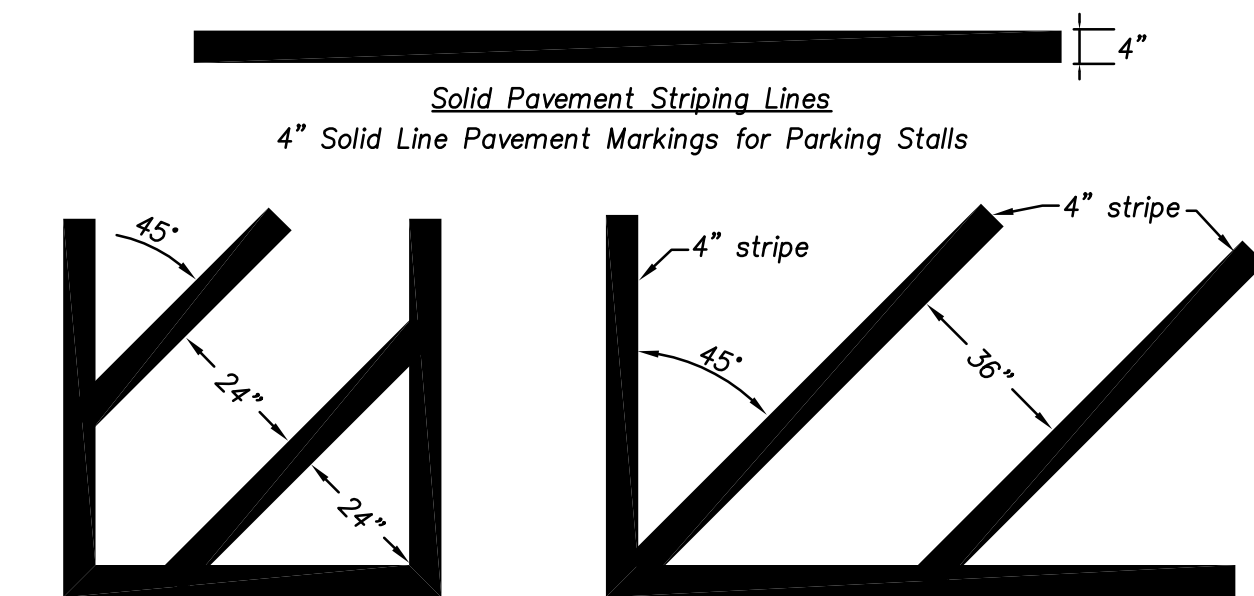


TYPICAL PRECAST 1,825 GALLON DRYWELL DETAIL
(NOT TO SCALE)

SUPPLIER OR APPROVED EQUAL
FARMER TANK INC.

CONSTRUCTION NOTES

- Prior to any work, Contractor shall obtain all necessary permits from the local municipality and governing agencies.
 - Contractor shall supply As-Built Record Drawings to the Owner/Developer and Engineer upon completion of work.
- CONCRETE SIDEWALKS**
- All materials and construction shall be in accordance with the Fulton County Standards, and these Drawings.
 - Align sidewalk joints with existing curb and gutter.
 - Transverse control joints for sidewalks scored 1/2" deep and spaced every five (5) feet.
 - Expansion joints for sidewalks and curbs shall be spaced no more than 50 feet and consist of 1/2" expansion joint with elastomeric filler. Also to be used to separate concrete paving from vertical surfaces and other components, and in pattern indicated.
 - Saw cut contraction joints 3/16" wide at optimum time after finishing. Cut 1/3 into slab depth.
 - Sidewalk: Light broom, texture perpendicular to direction of travel with troweled/radius edge.
 - Concrete Curb: Light broom texture, vertical.
 - Inclined ramps: Broomed perpendicular to slope.
 - "Curing Concrete" as per Fulton County and latest INDOT Standard Specifications, Section 500. Use curing compound immediately (white membrane only accepted cure). Apply in accordance with manufacturer's instructions.

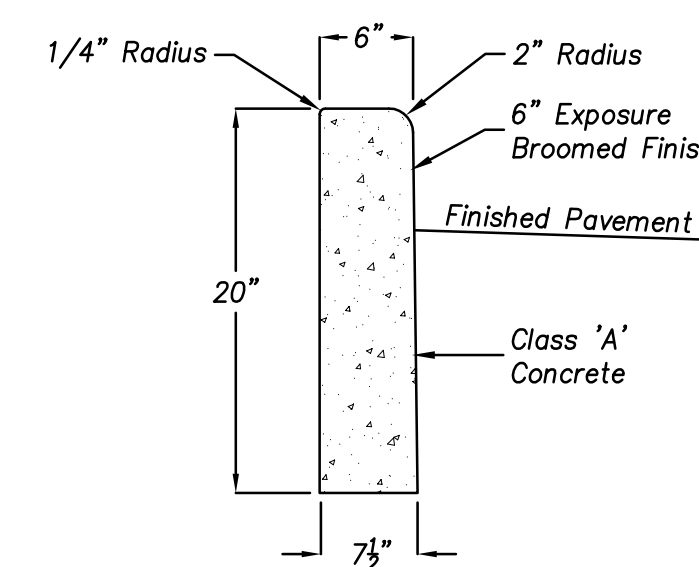


PAINTED ISLANDS
4" Solid Line Pavement Markings for ADA Islands

PAINTED CROSSWALKS
4" Solid Line Pavement Markings

CONTRACTOR TO COORDINATE ALL STRIPING COLOR(S)
WITH OWNER/DEVELOPER PRIOR TO INSTALLATION

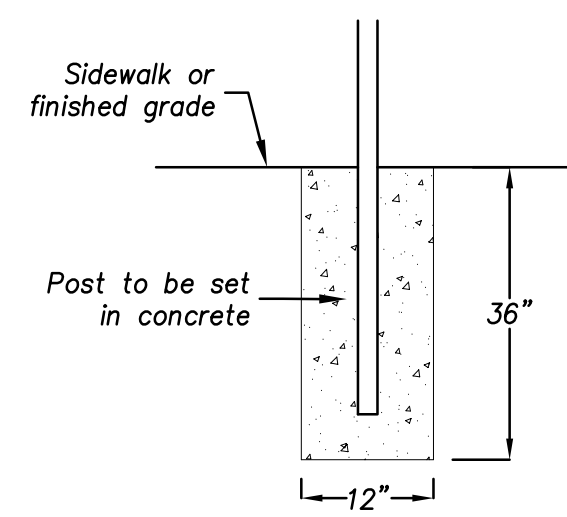
AUTO PARKING PAVEMENT STRIPING
(NOT TO SCALE)



STANDARD CURB
(NOT TO SCALE)

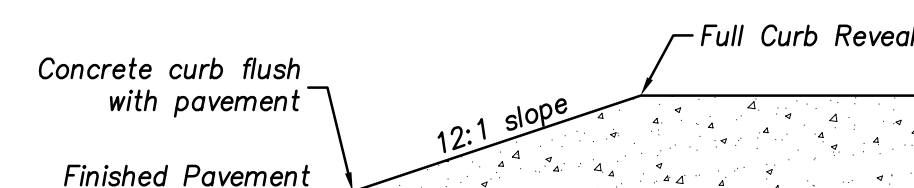
SIGN NOTES:

- Sign Types shall be in accordance with the U.S. Department of Transportation Federal Highway MUTCD Manual on Traffic Signs. See Sheet C1.0 for locations and additional information.
- Signs shall be constructed from a permanent, reflectorized, rust free, sheet aluminum.
- Each ADA parking space shall be identified with the International Symbol of Accessibility.

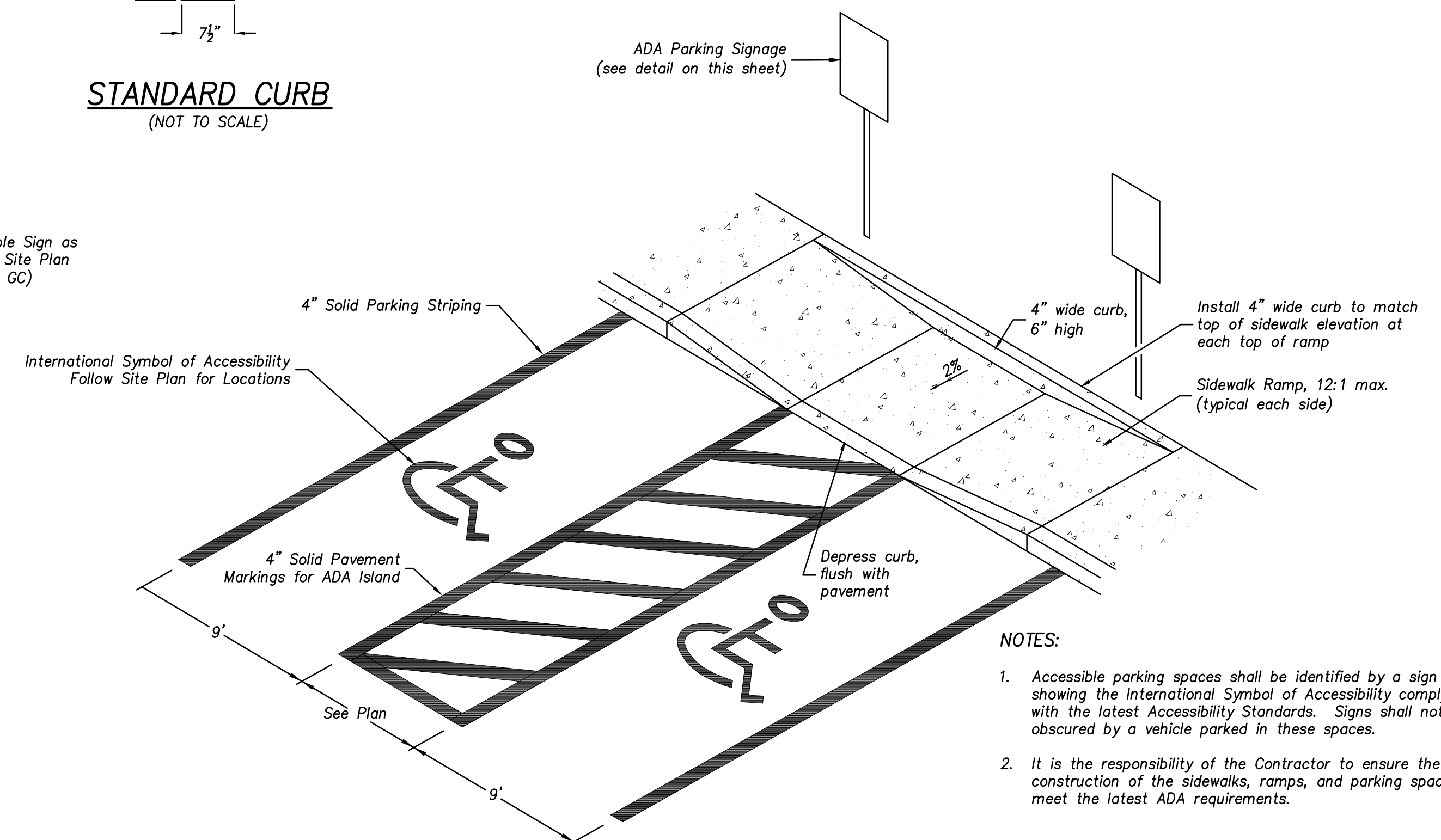


SUGGESTED POLE FOUNDATION

SIGN DETAILS
(NOT TO SCALE)



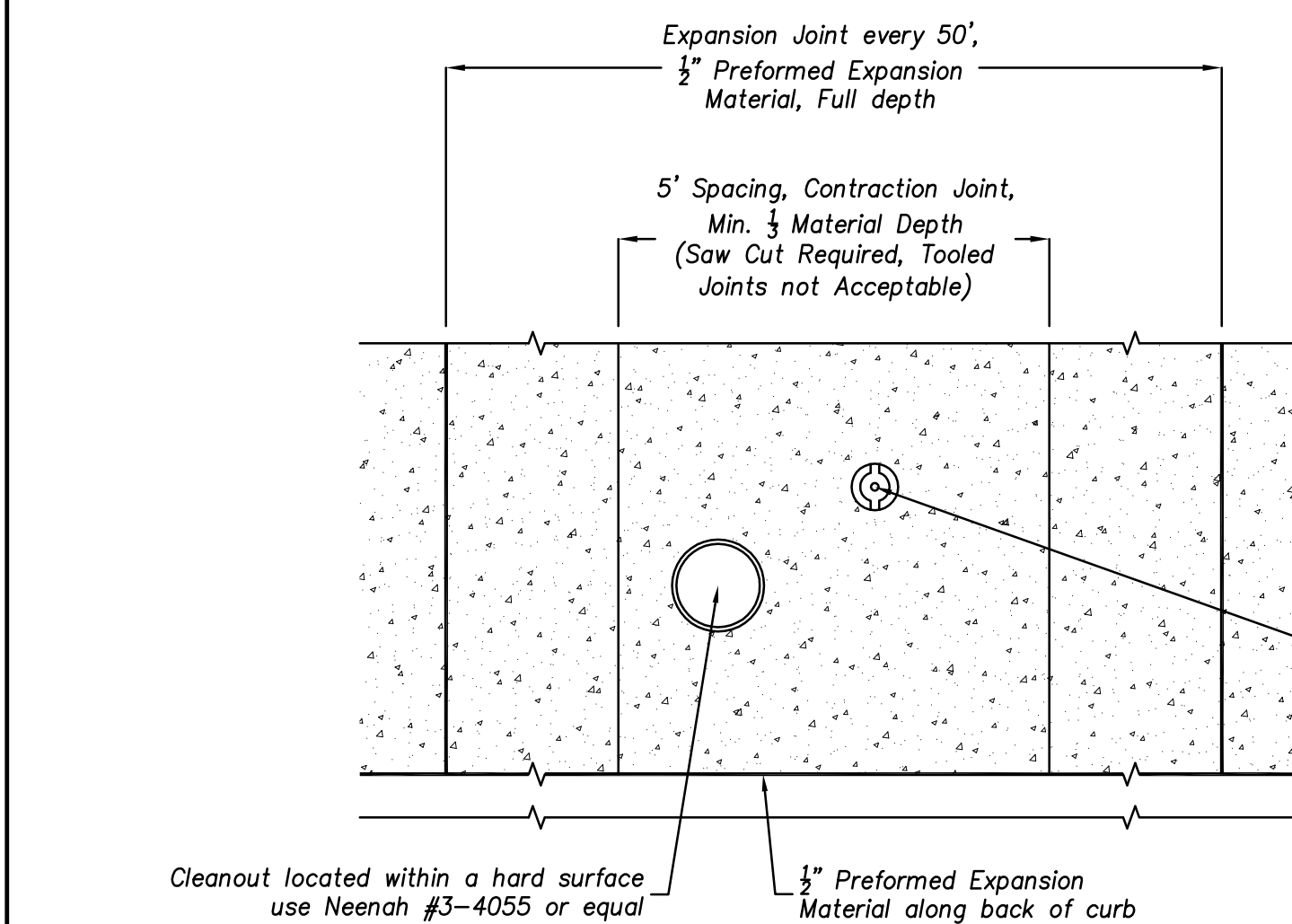
END OF CURB TRANSITION DETAIL
(NOT TO SCALE)



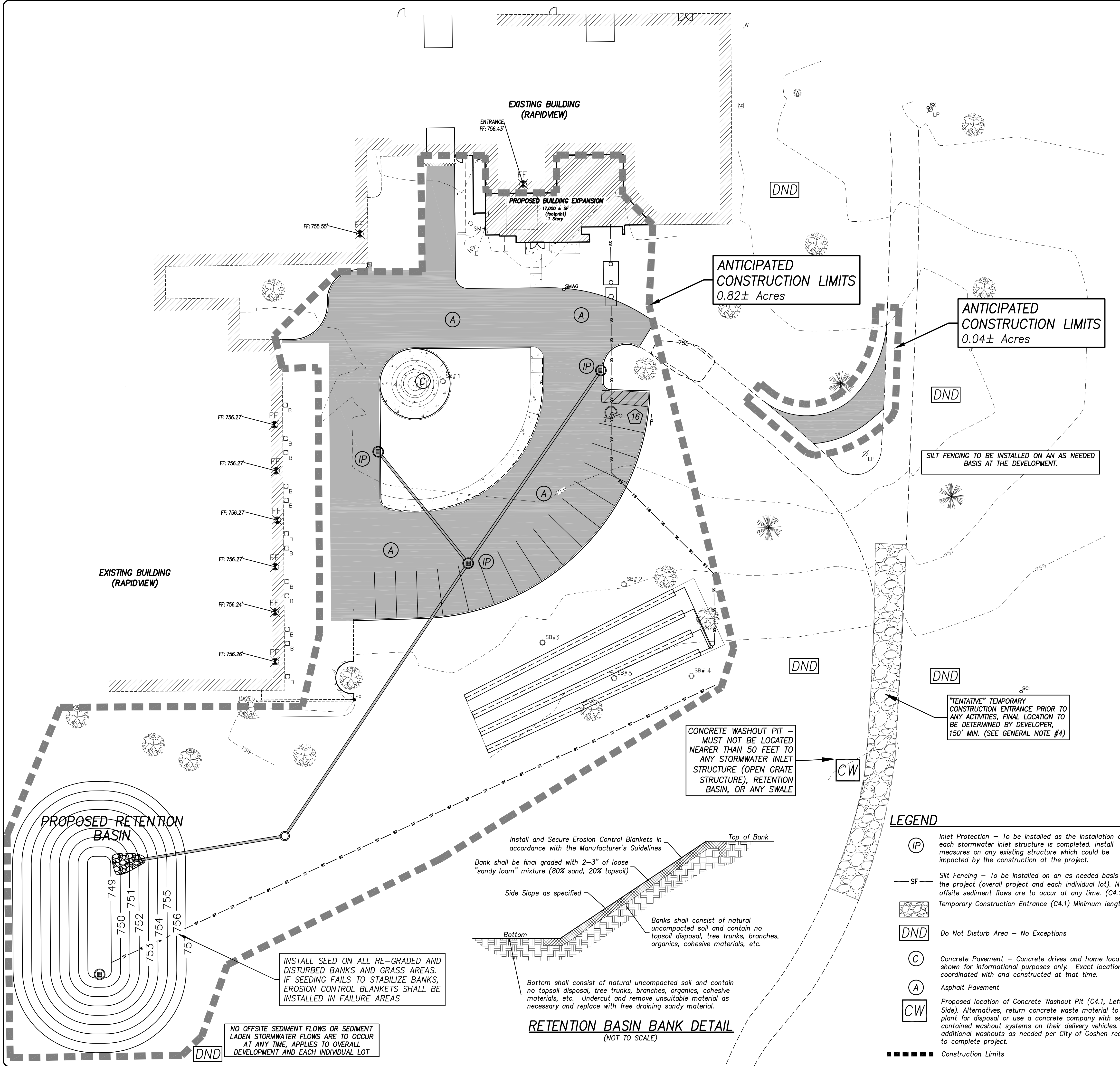
TYPICAL ADA PARKING SPACES
(NOT TO SCALE)

NOTES:

- Accessible parking spaces shall be identified by a sign showing the International Symbol of Accessibility complying with the latest Accessibility Standards. Signs shall not be obscured by a vehicle parked in these spaces.
- It is the responsibility of the Contractor to ensure the construction of the sidewalks, ramps, and parking spaces meet the latest ADA requirements.



TYPICAL SIDEWALK DETAILS
(NOT TO SCALE)



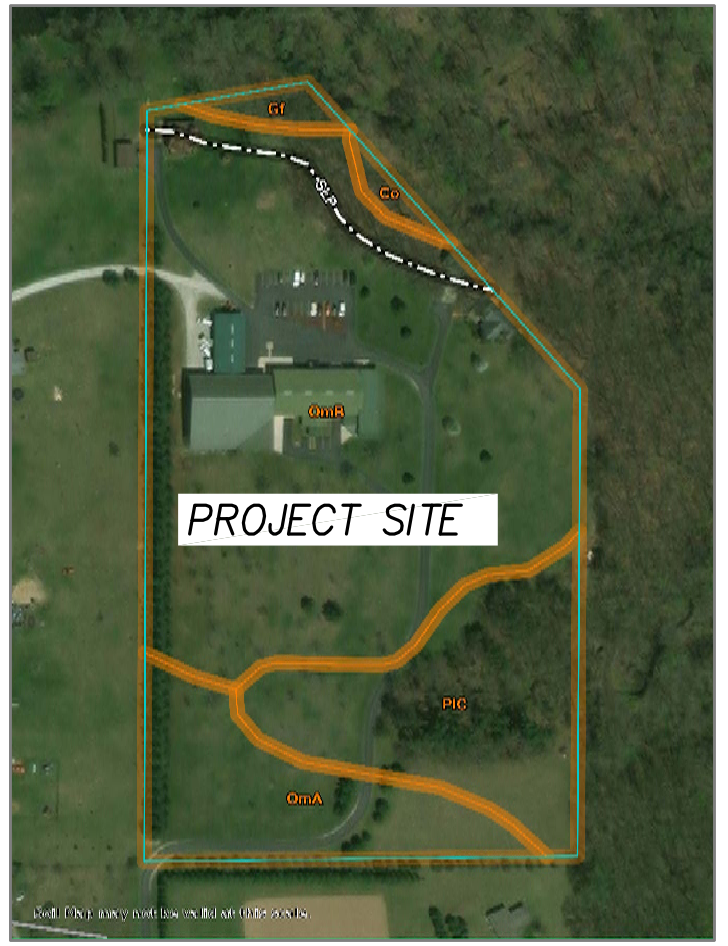
GENERAL NOTES

- All erosion control measures shall be implemented in accordance with this plan and shall comply with the Fulton County, and 327 IAC 15-5 or "Rule 5" as outlined in the Indiana Storm Water Quality Manual and on the following website for best management practices (BMPs): www.in.gov/idem/4902.htm.
- The Owner shall notify the local Soil & Water Conservation District (SWCD) at (574) 223-3220 and the Fulton County MS4 (Fulton County Surveyor's Office) at (574) 223-3317 at least 48 hours prior to any land disturbing activity and upon completion so that final site inspections may be performed for compliance.
- Storm sewer inlets within the construction limits and existing inlets nearby that may be impacted by construction shall be protected as specified on the plan or an approved equal. The intent of this measure is to prevent sediment from entering the drainage system.
- Until the project is accepted by the Owner, the Contractor shall maintain all erosion control measures to prevent sediment from entering public and private storm sewers and from leaving the project site. Contractor shall implement and maintain any additional measures at the request of the Local and/or State Stormwater and Erosion Control Inspectors at no additional cost.
- SILT FENCE** - Actual field conditions shall indicate the location and amount of silt fence required to prevent sediment from entering public and private storm sewers and from leaving the project site. Silt fence shall be installed at the site perimeter if the site is higher than the neighboring property. If the project site is lower, silt fence is likely not needed and actual field conditions shall dictate. Silt fence or other appropriate sediment barriers shall be installed a minimum of 10' away from the toe of slope of any onsite or offsite stockpile, borrow, and/or disposal areas.
- NO OFFSITE SEDIMENT FLOWS OR SEDIMENT LADEN STORMWATER FLOWS ARE TO OCCUR AT ANY TIME. INSTALL SILT FENCING ON AN AS NEEDED BASIS.**
- Soil material shall be temporarily stockpiled onsite as necessary during construction in accordance with "Rule 5" guidelines, and any excess material not needed shall be stockpiled on the west side of the property. If the construction process dictates the necessity to haul away excess material, the material shall be disposed of in accordance with "Rule 5" guidelines.
- Locations for temporary topsoil stockpiling, temporary construction staging, and dewatering operations (if required) shall be determined by the Contractor and Owner prior to construction. These locations shall be provided to Fulton County SWCD prior to construction of solid items and adequate protection installed to protect public and private drainage systems.
- All areas disturbed by construction shall be stabilized with seeding stabilization measures. Temporary Seeding shall take place as soon as possible on any bare or thinly vegetated areas which have less than 70 percent cover and to remain inactive for a period of 15 days or more. Temporary and Permanent Seeding shall be in accordance with the Indiana Storm Water Quality Manual.
- If dewatering is required, a dewatering bag shall be used to minimize offsite transport in accordance with Fulton County Standards.

SITE INSPECTIONS

It is highly recommended that site inspections of all erosion and sediment control best management practices (BMPs) and stormwater related BMPs be completed on a weekly basis and within one (1) business day after each storm event of one-half inch or greater. Any repairs or adjustments shall be made immediately.

Inspection reports shall be kept on file and available upon request to any governing agency requesting them. It is recommended to perform site inspections until the project site is stabilized and there is at least 70% vegetative cover.



SOILS MAP
(NOT TO SCALE)

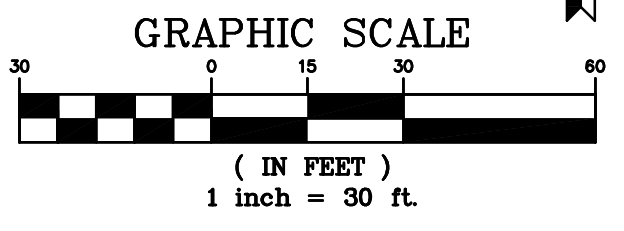
SOILS INFORMATION IS REFERENCED FROM THE UNITED STATES DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION DISTRICT'S WEB SOIL SURVEY, AND THE SOIL SURVEY OF FULTON COUNTY, INDIANA

OmB - Ormas Loamy Sand, 2 to 6 percent slopes

Soil Typical Profile
 0 to 10 inches: Loamy Sand (2.0-6.0 in/hr)
 10 to 32 inches: Loamy Sand (2.0-6.0 in/hr)
 32 to 50 inches: Gravelly Sandy Loam (2.0 -6.0 in/hr)
 50 to 80 inches: Gravelly Coarse Sand (20 in/hr)

LEGEND

- IP** Inlet Protection - To be installed as the installation of each stormwater inlet structure is completed. Install measures on any existing structure which could be impacted by the construction at the project.
- SF** Silt Fencing - To be installed on an as needed basis at the project (overall project and each individual lot). No offsite sediment flows are to occur at any time. (C4.1)
- Temp. Entrance** Temporary Construction Entrance (C4.1) Minimum length 150 feet.
- DND** Do Not Disturb Area - No Exceptions
- C** Concrete Pavement - Concrete drives and home locations are shown for informational purposes only. Exact locations shall be coordinated with and constructed at that time.
- A** Asphalt Pavement
- CW** Proposed location of Concrete Washout Pit (C4.1, Left Hand Side). Alternatives, return concrete waste material to concrete plant for disposal or use a concrete company with self contained washout systems on their delivery vehicles. Install additional washouts as needed per City of Goshen requirements to complete project.
- Construction Limits** (indicated by a thick dashed line)





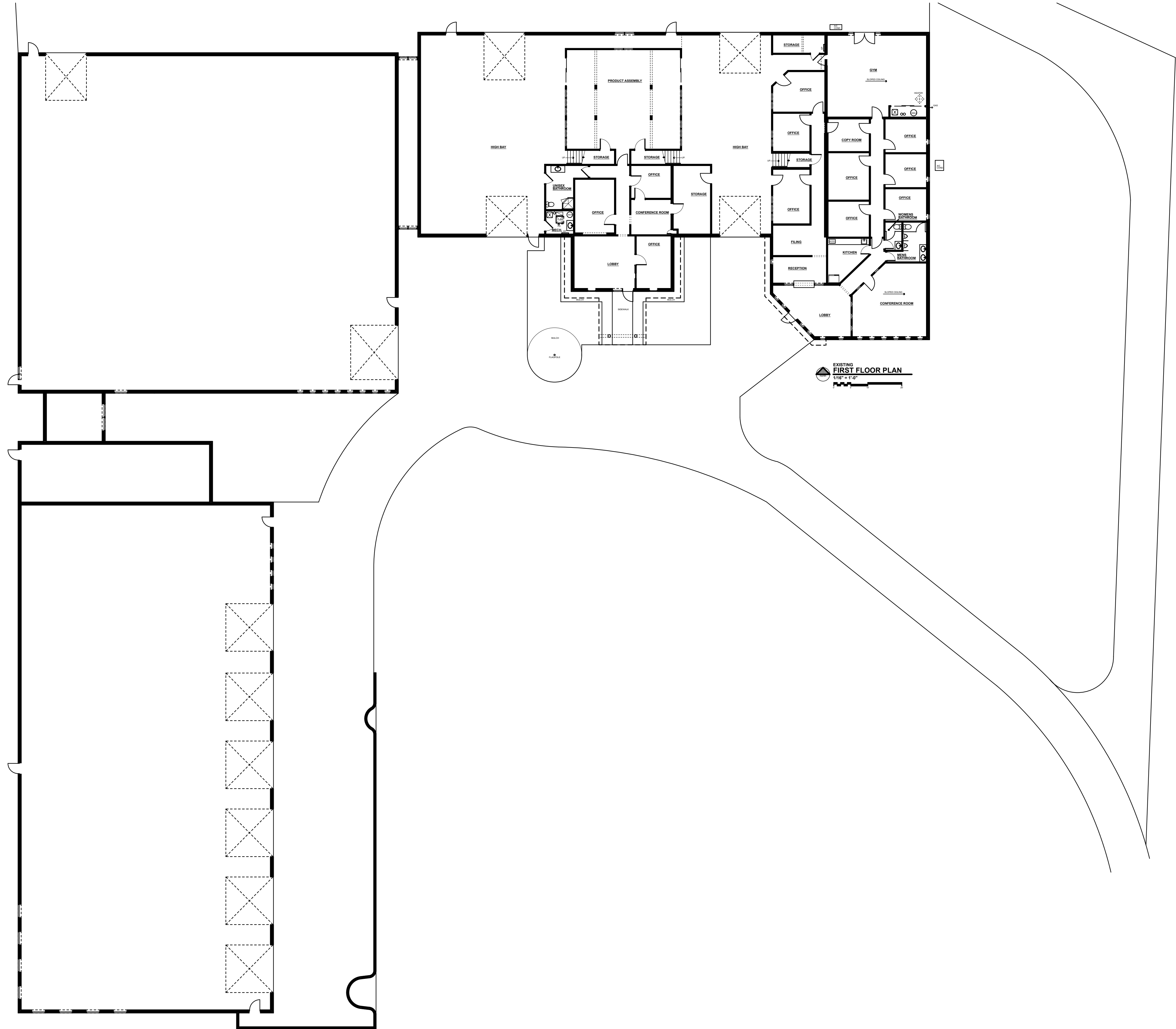
**HELMAN
SECHRIST
ARCHITECTURE**

129 NORTH 2ND ST.
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(574) 294-6674
helmansechrist.com

Date:
27 MAY 2020

Revisions:

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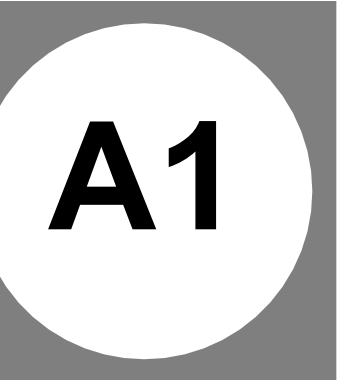


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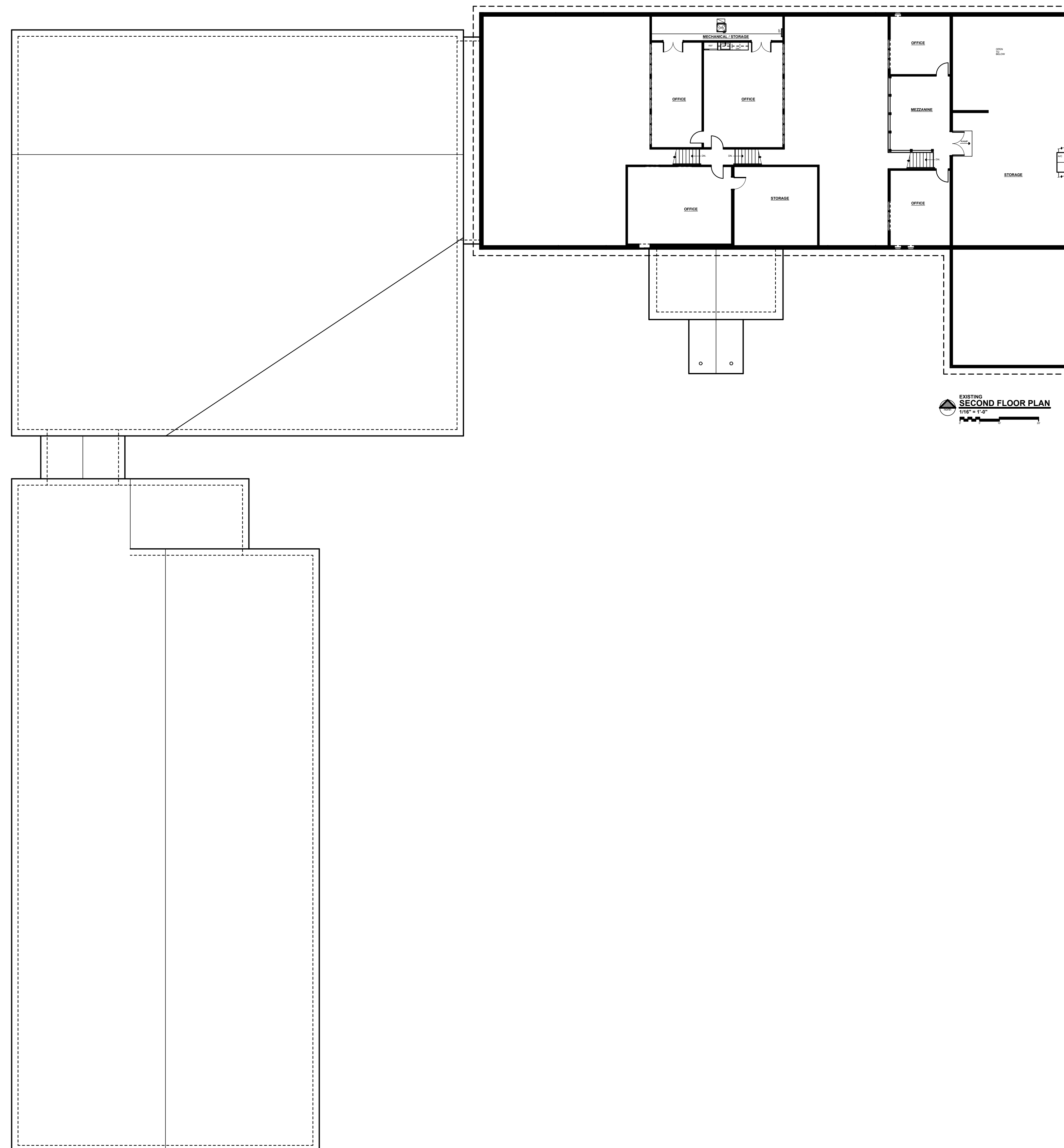
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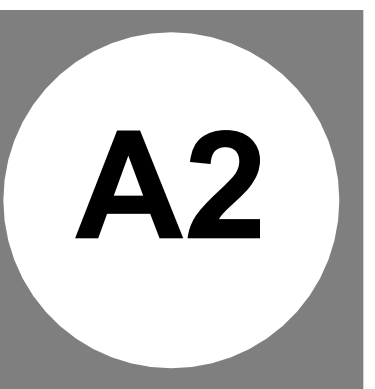


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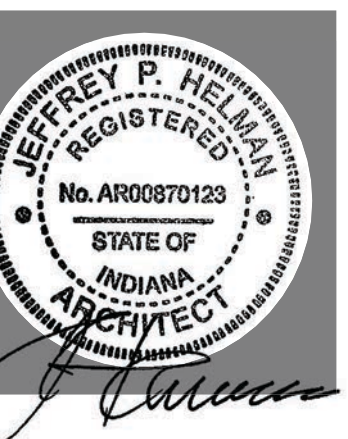
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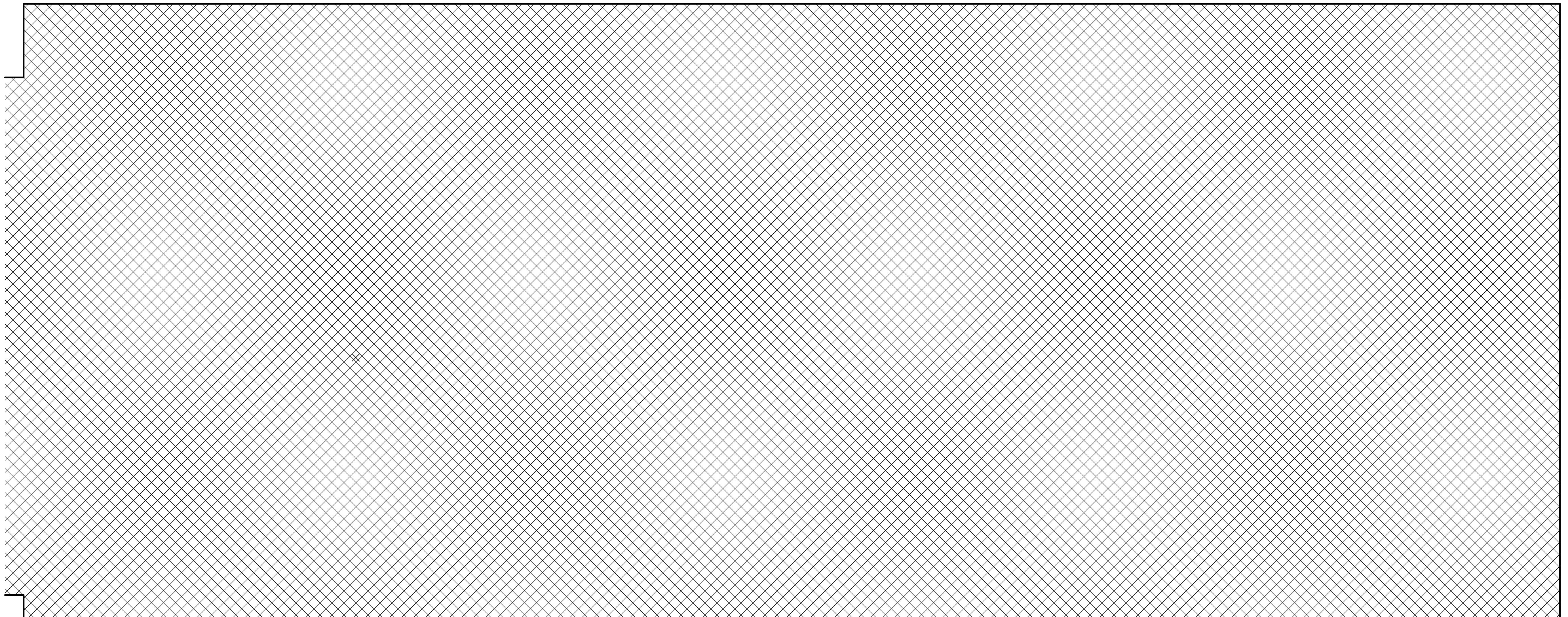
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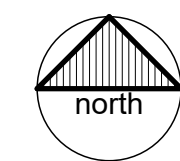
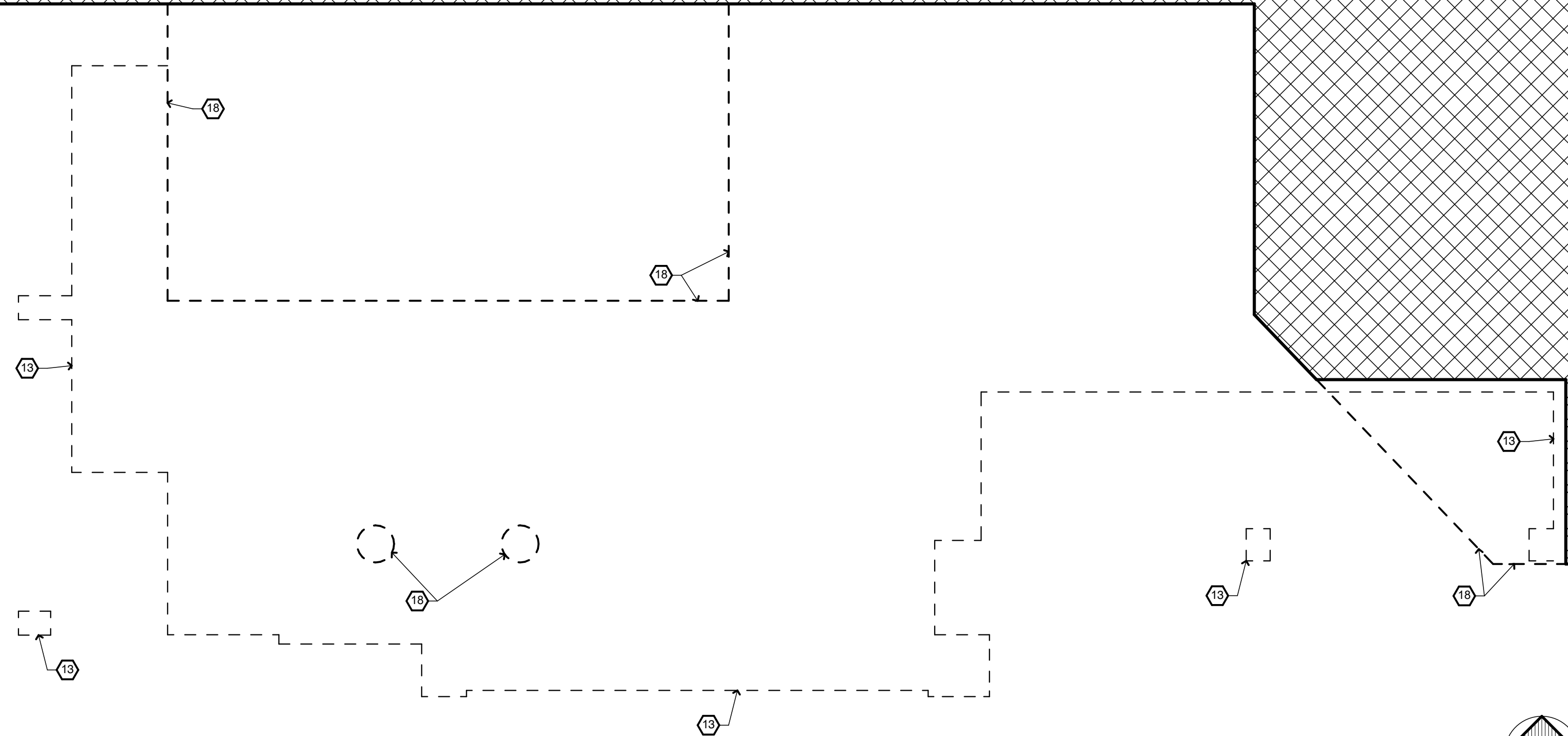


GENERAL DEMOLITION NOTES:

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- ALL DEMOLITION ITEMS SHALL BE CONSIDERED PROPERTY OF THE OWNER UNTIL SUCH TIME AS VERIFICATION HAS BEEN MADE AS TO THOSE ITEMS NOT TO BE RETAINED BY THE OWNER PRIOR TO REMOVAL FROM THE SITE. ALL ITEMS NOT TO BE RETAINED OR REUSED SHALL BE REMOVED COMPLETELY FROM THE SITE.
- CONTRACTOR SHALL SEPARATE ALL DEMOLITION AND CONSTRUCTION AREAS FROM OPERATIONAL AREAS WITH DUST PROOF BARRIERS OR SEALS. CONTRACTOR SHALL PROVIDE SEQUENCE OF WORK SCHEDULE FOR OWNER'S APPROVAL PRIOR TO STARTING TO COORDINATE OPERATIONAL AND CONSTRUCTION AREAS.
- WHERE WALLS AND SYSTEMS TO BE REMOVED ADJUT WALLS AND SYSTEMS TO REMAIN, DEMOLITION SHALL BE CLEAN AND COMPLETE IN A MANNER TO READILY ACCEPT NEW SURFACES, SYSTEMS, AND FINISHES. PATCH, SHIM, ETC. AS REQUIRED.
- VERIFY FLOOR ELEVATIONS ON EITHER SIDE OF WALL BEING REMOVED. PATCH THE FLOOR AND INSTALL AN EPOXY FILL MATERIAL AS MAY BE REQUIRED FOR A LEVEL FLOOR CONDITION.
- WHEN DEMOLITION CAUSES OR EXPOSES DAMAGE TO FLOOR SLAB, OR CEILING SURFACES TO REMAIN, CONTRACTOR SHALL REPAIR AND LEVEL SUCH CONDITIONS SUITABLE TO RECEIVE NEW FINISHES.
- WHERE EXISTING WALLS ARE TO REMAIN, PREPARE SURFACES TO RECEIVE NEW FINISHES, IF A NEW FINISH HAS BEEN SPECIFIED.
- WHERE EXTERIOR WALLS, WINDOWS, DOORS, OR ROOF PENETRATIONS OF EXISTING BUILDING ARE TO BE REMOVED, THE CONTRACTOR SHALL TAKE ALL PROPER PRECAUTIONS TO ENSURE THAT THE EXISTING BUILDING REMAINS WEATHERTIGHT DURING DEMOLITION AND CONSTRUCTION.
- REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS, DETAILS, AND SPECIFICATIONS FOR ADDITIONAL DEMOLITION REQUIREMENTS.

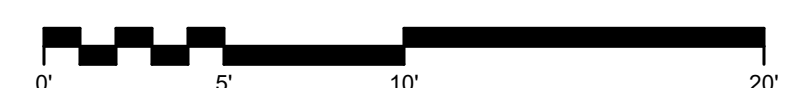
DEMOLITION KEYNOTES:

- | | | |
|---|---|--|
| 1 REMOVE EXISTING WINDOW IN ANTICIPATION OF NEW CONSTRUCTION. | 8 REMOVE EXISTING CABINETS AND COUNTERTOP THIS AREA. | 16 REMOVE EXISTING STAIR & HANDRAIL IN THEIR ENTIRETY. |
| 2 SAWCUT & REMOVE A PORTION OF EXISTING CONCRETE FLOOR SLAB AS REQUIRED FOR NEW CONSTRUCTION THIS AREA. | 9 REMOVE EXISTING DOOR & TRACKS IN THEIR ENTIRETY. | 17 REMOVE EXISTING DRAIN, CAP PIPE AS REQUIRED. |
| 3 REMOVE EXISTING HVAC EQUIPMENT & PLUMBING FIXTURES THIS AREA IN ANTICIPATION OF NEW CONSTRUCTION. ELECTRICAL PANEL TO REMAIN. PROTECT AS REQUIRED FROM DEMOLITION ACTIVITIES. | 10 REMOVE EXISTING FLOOR FINISH & BASE TRIM THIS AREA AS REQUIRED TO INSTALL NEW FINISHES. SEE FINISH SCHEDULE. PATCH EXISTING SURFACE TO REMAIN AS REQUIRED. | 18 REMOVE EXISTING FOUNDATION SYSTEM IN ITS ENTIRETY IN ANTICIPATION OF NEW CONSTRUCTION. |
| 4 REMOVE EXISTING DOOR IN ANTICIPATION OF NEW CONSTRUCTION. RETAIN FOR RE-USE. SEE FLOOR PLAN. | 11 REMOVE PORTION OF EXISTING ROOF OVERHANG THIS AREA. VERIFY BEARING REQUIREMENTS PRIOR TO REMOVAL. SEE FRAMING PLANS. | 19 REMOVE EXISTING ROOF STRUCTURE IN ITS ENTIRETY. |
| 5 REMOVE A PORTION OF THE EXISTING FRAME WALL THIS AREA. VERIFY BEARING CONDITION PRIOR TO WALL REMOVAL. | 12 REMOVE PORTION OF EXISTING LANDSCAPING, LAWN, AND / OR SITE PAVING. SEE SITE DRAWINGS. | 20 REMOVE EXISTING GUARDRAIL IN ITS ENTIRETY. PROVIDE TEMPORARY FALL PROTECTION AS REQUIRED. |
| 6 REMOVE A PORTION OF THE EXISTING FRAME WALL THIS AREA. PROVIDE TEMPORARY SHORING AS REQUIRED TO INSTALL NEW BEAMLINTEL AS INDICATED ON FLOOR PLAN. | 13 DASHED LINES INDICATE EXTENT OF NEW CONSTRUCTION. | |
| 7 REMOVE ALL EXISTING PLUMBING FIXTURES, TOILET PARTITIONS, VANITIES, ACCESSORIES, ETC. THIS AREA | 14 REMOVE EXISTING WOOD SHIPLAP / PANELS THIS AREA. | |
| | 15 REMOVE EXISTING LOG COLUMNS AND TRUSS IN THEIR ENTIRETY. VERIFY RETENTION W/ OWNER PRIOR TO DEMOLITION. | |



**DEMOLITION
LOWER LEVEL**

3/16" = 1'-0"



DEMOLITION PLAN KEY:

- EXISTING WALLS TO BE REMOVED. VERIFY BEARING CONDITION PRIOR TO COMMENCING WALL REMOVAL. PROVIDE TEMPORARY SHORING AS REQUIRED. IF EXAMINATION REVEALS THAT NEW BEARING MEMBERS ARE REQUIRED THAT HAVE NOT BEEN SHOWN, THE ARCHITECT SHALL BE NOTIFIED TO DESIGN NEW BEARING MEMBERS PRIOR TO WALL REMOVAL.
- AREAS SHADED THIS ARE EXISTING AREAS TO HAVE NO WORK IN THIS CONTRACT. PROTECT AS REQUIRED. REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES.



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Revisions:

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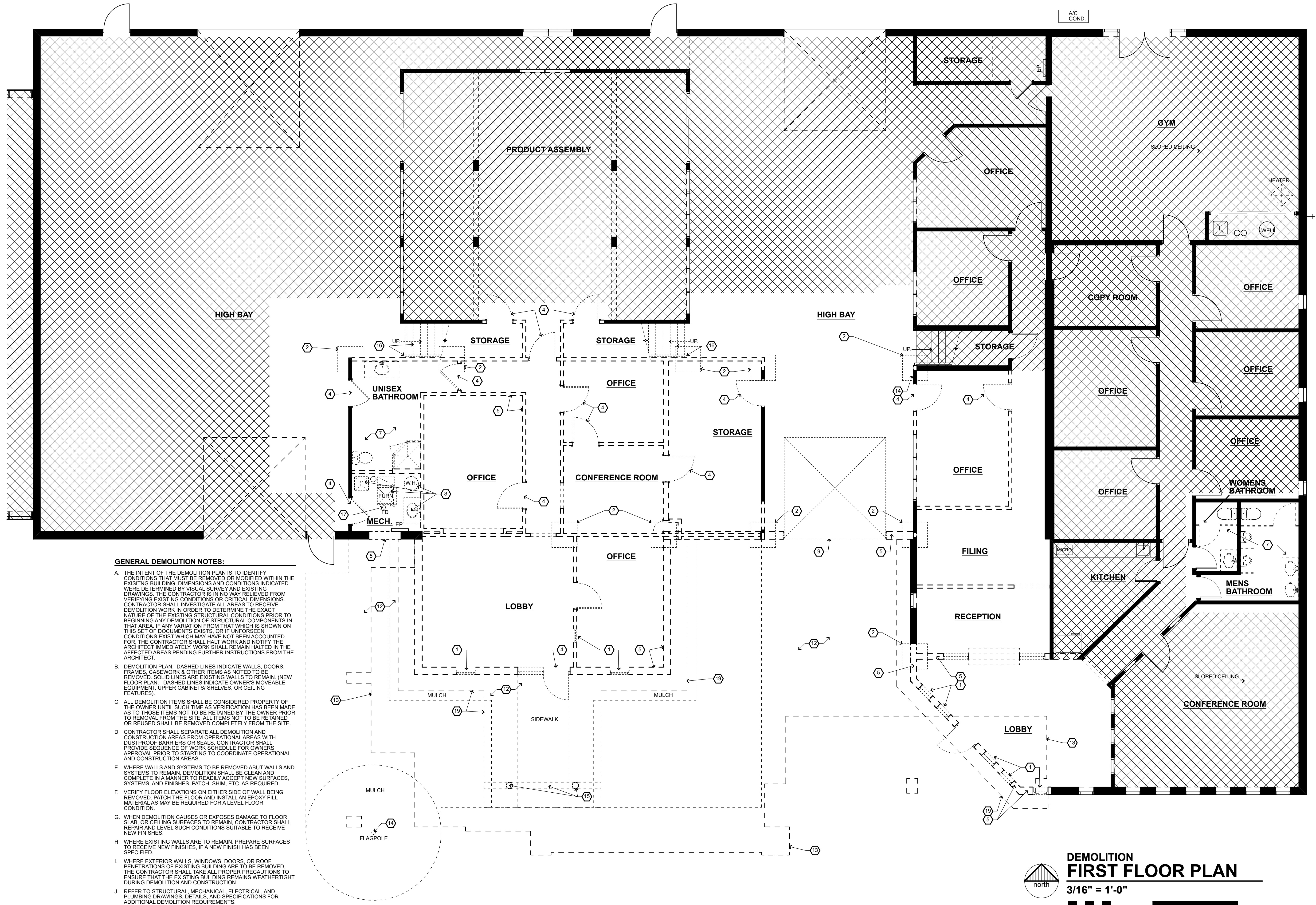
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- H. WHERE EXISTING WALLS ARE TO REMAIN, PREPARE SURFACES TO RECEIVE NEW FINISHES, IF A NEW FINISH HAS BEEN SPECIFIED.
- I. WHERE EXTERIOR WALLS, WINDOWS, DOORS, OR ROOF PENETRATIONS OF EXISTING BUILDING ARE TO BE REMOVED, THE CONTRACTOR SHALL TAKE ALL PROPER PRECAUTIONS TO ENSURE THAT THE EXISTING BUILDING REMAINS WEATHERTIGHT DURING DEMOLITION AND CONSTRUCTION.
- J. REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS, DETAILS, AND SPECIFICATIONS FOR ADDITIONAL DEMOLITION REQUIREMENTS.

DEMOLITION KEYNOTES:

- 1 REMOVE EXISTING WINDOW IN ANTICIPATION OF NEW CONSTRUCTION.
- 2 SAWCUT & REMOVE A PORTION OF EXISTING CONCRETE FLOOR SLAB AS REQUIRED FOR NEW CONSTRUCTION THIS AREA.
- 3 REMOVE EXISTING HVAC EQUIPMENT & PLUMBING FIXTURES THIS AREA IN ANTICIPATION OF NEW CONSTRUCTION. ELECTRICAL PANEL TO REMAIN. PROTECT AS REQUIRED FROM DEMOLITION ACTIVITIES.
- 4 REMOVE EXISTING DOOR IN ANTICIPATION OF NEW CONSTRUCTION. RETAIN FOR RE-USE. SEE FLOOR PLAN.
- 5 REMOVE A PORTION OF THE EXISTING FRAME WALL THIS AREA. VERIFY BEARING CONDITION PRIOR TO WALL REMOVAL.
- 6 REMOVE A PORTION OF THE EXISTING FRAME WALL THIS AREA. PROVIDE TEMPORARY SHORING AS REQUIRED TO INSTALL NEW BEAM/INTEL AS INDICATED ON FLOOR PLAN.
- 7 REMOVE ALL EXISTING PLUMBING FIXTURES, TOILET PARTITIONS, VANITIES, ACCESSORIES, ETC. THIS AREA.
- 8 REMOVE EXISTING CABINETS AND COUNTERTOP THIS AREA.
- 9 REMOVE EXISTING DOOR & TRACKS IN THEIR ENTIRETY.
- 10 REMOVE EXISTING FLOOR FINISH & BASE TRIM THIS AREA AS REQUIRED TO INSTALL NEW FINISHES. SEE FINISH SCHEDULE. PATCH EXISTING SURFACE TO REMAIN AS REQUIRED.
- 11 REMOVE PORTION OF EXISTING ROOF OVERHANG THIS AREA. VERIFY BEARING REQUIREMENTS PRIOR TO REMOVAL. SEE FRAMING PLANS.
- 12 REMOVE PORTION OF EXISTING LANDSCAPING, LAWN, AND / OR SITE PAVING. SEE SITE DRAWINGS.
- 13 DASHED LINES INDICATE EXTENT OF NEW CONSTRUCTION.
- 14 REMOVE EXISTING WOOD SHIP/LAP / PANELS THIS AREA.
- 15 REMOVE EXISTING LOG COLUMNS AND TRUSSES IN THEIR ENTIRETY. VERIFY RETENTION W/ OWNER PRIOR TO DEMOLITION.
- 16 REMOVE EXISTING STAIR & HANDRAIL IN THEIR ENTIRETY.
- 17 REMOVE EXISTING DRAIN. CAP PIPE AS REQUIRED.
- 18 REMOVE EXISTING FOUNDATION SYSTEM IN ITS ENTIRETY IN ANTICIPATION OF NEW CONSTRUCTION.
- 19 REMOVE EXISTING ROOF STRUCTURE IN ITS ENTIRETY.
- 20 REMOVE EXISTING GUARDRAIL IN ITS ENTIRETY. PROVIDE TEMPORARY FALL PROTECTION AS REQUIRED.

**DEMOLITION
FIRST FLOOR PLAN**

3/16" = 1'-0"
0' 5' 10' 20'

- DEMOLITION PLAN KEY:**
- EXISTING WALLS TO REMAIN. PROTECT AS REQUIRED.
 - - - EXISTING WALLS TO BE REMOVED. VERIFY BEARING CONDITION PRIOR TO COMMENCING WALL REMOVAL. PROVIDE TEMPORARY SHORING AS REQUIRED. IF EXAMINATION REVEALS THAT NEW BEARING MEMBERS ARE REQUIRED THAT HAVE NOT BEEN SHOWN, THE ARCHITECT SHALL BE NOTIFIED TO DESIGN NEW BEARING MEMBERS PRIOR TO WALL REMOVAL.
 - ▨ AREAS SHADED THIS ARE EXISTING AREAS TO HAVE NO WORK IN THIS CONTRACT. PROTECT AS REQUIRED. REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES.



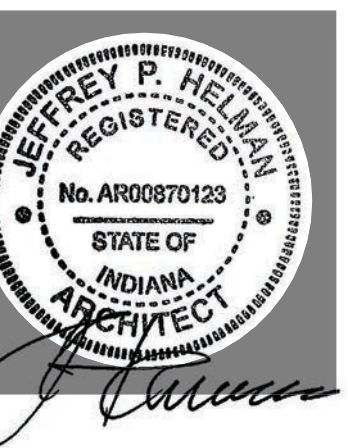
**HELMAN
SECHRIST**
ARCHITECTURE

129 NORTH 2ND ST.
ELKHART, IN 46516
(574) 294-6674
helmansechrist.com

Date:
27 MAY 2020

Revisions:

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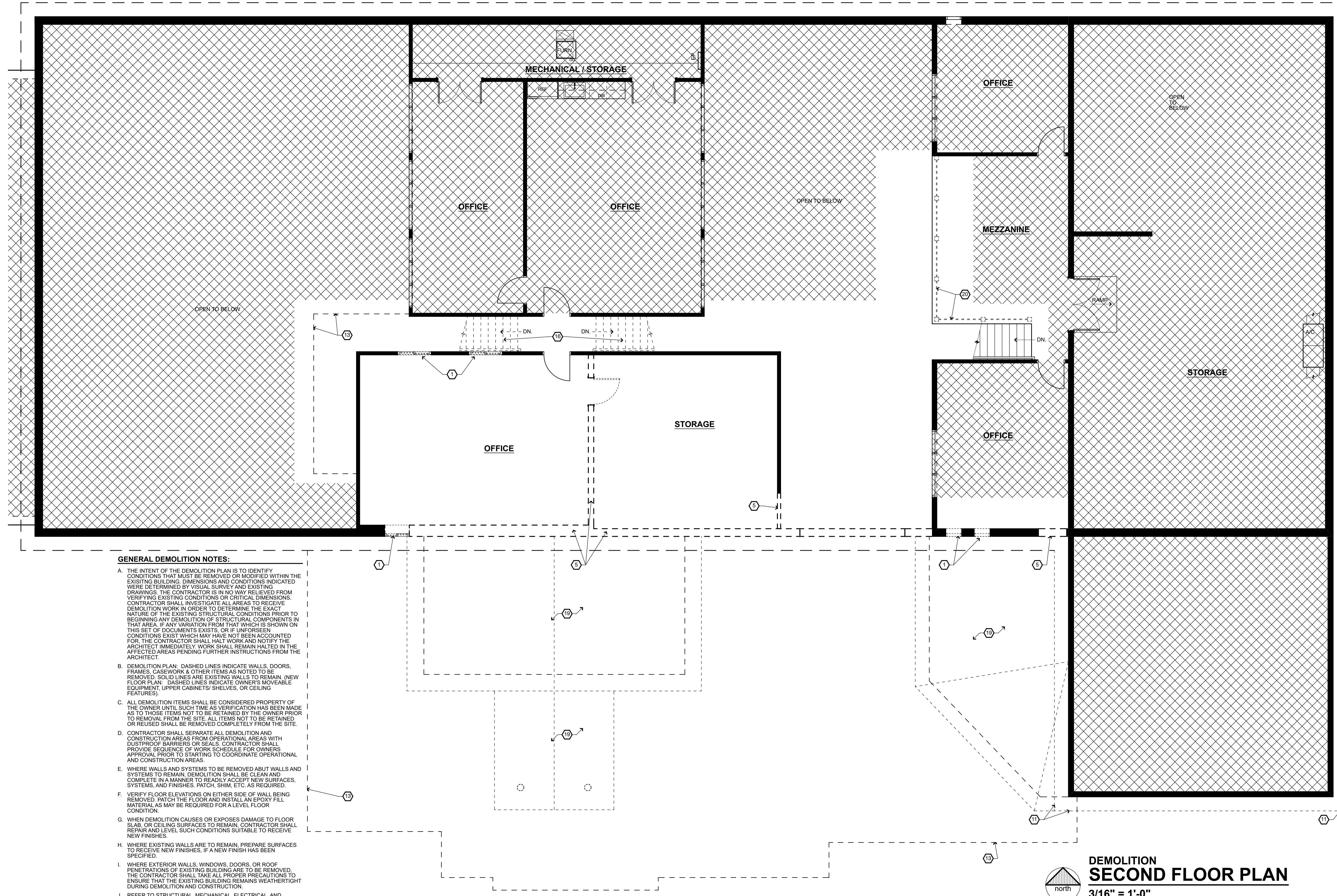
ADDITIONS
AND
RENOVATIONS
FOR

RAPIDVIEW

1828
OLSON ROAD
ROCHESTER
INDIANA
46975

Project No.:
1925

A5



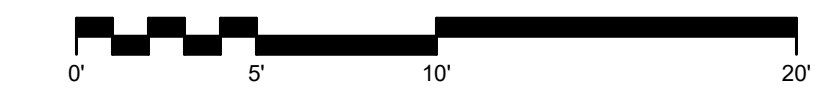
GENERAL DEMOLITION NOTES:

- THE INTENT OF THE DEMOLITION PLAN IS TO IDENTIFY CONDITIONS THAT MUST BE REMOVED OR MODIFIED WITHIN THE EXISTING BUILDING. DIMENSIONS AND CONDITIONS INDICATED WERE DETERMINED BY VISUAL SURVEY AND EXISTING DRAWINGS. THE CONTRACTOR IS IN NO WAY RELIEVED FROM VERIFYING EXISTING CONDITIONS OR CRITICAL DIMENSIONS. CONTRACTOR SHALL INVESTIGATE ALL AREAS TO RECEIVE DEMOLITION WORK IN ORDER TO DETERMINE THE EXACT NATURE OF THE EXISTING STRUCTURAL CONDITIONS PRIOR TO BEGINNING ANY DEMOLITION OF STRUCTURAL COMPONENTS IN THAT AREA. IF ANY VARIATION FROM THAT WHICH IS SHOWN ON THIS SET OF DOCUMENTS EXISTS, OR IF UNFORSEEN CONDITIONS EXIST WHICH MAY HAVE NOT BEEN ACCOUNTED FOR, THE CONTRACTOR SHALL HALT WORK AND NOTIFY THE ARCHITECT IMMEDIATELY. WORK SHALL REMAIN HALTED IN THE AFFECTED AREAS PENDING FURTHER INSTRUCTIONS FROM THE ARCHITECT.
- DEMOLITION PLAN: DASHED LINES INDICATE WALLS, DOORS, FRAMES, CASEWORK & OTHER ITEMS AS NOTED TO BE REMOVED. SOLID LINES ARE EXISTING WALLS TO REMAIN. (NEW FLOOR PLAN). DASHED LINES INDICATE OWNER'S MOVEABLE EQUIPMENT, UPPER CABINETS/SHELVES, OR CEILING FEATURES.
- ALL DEMOLITION ITEMS SHALL BE CONSIDERED PROPERTY OF THE OWNER UNTIL SUCH TIME AS VERIFICATION HAS BEEN MADE AS TO THOSE ITEMS NOT TO BE RETAINED BY THE OWNER PRIOR TO REMOVAL FROM THE SITE. ALL ITEMS NOT TO BE RETAINED OR REUSED SHALL BE REMOVED COMPLETELY FROM THE SITE.
- CONTRACTOR SHALL SEPARATE ALL DEMOLITION AND CONSTRUCTION AREAS FROM OPERATIONAL AREAS WITH DUSTPROOF BARRIERS OR SEALS. CONTRACTOR SHALL PROVIDE SEQUENCE OF WORK SCHEDULE FOR OWNERS APPROVAL PRIOR TO STARTING TO COORDINATE OPERATIONAL AND CONSTRUCTION AREAS.
- WHERE WALLS AND SYSTEMS TO BE REMOVED ABUT WALLS AND SYSTEMS TO REMAIN, DEMOLITION SHALL BE CLEAN AND COMPLETE IN A MANNER TO READILY ACCEPT NEW SURFACES, SYSTEMS, AND FINISHES. PATCH, SHIM, ETC. AS REQUIRED.
- VERIFY FLOOR ELEVATIONS ON EITHER SIDE OF WALL BEING REMOVED. PATCH THE FLOOR AND INSTALL AN EPOXY FILL MATERIAL AS MAY BE REQUIRED FOR A LEVEL FLOOR CONDITION.
- WHEN DEMOLITION CAUSES OR EXPOSES DAMAGE TO FLOOR SLAB, OR CEILING SURFACES TO REMAIN, CONTRACTOR SHALL REPAIR AND LEVEL SUCH CONDITIONS SUITABLE TO RECEIVE NEW FINISHES.
- WHERE EXISTING WALLS ARE TO REMAIN, PREPARE SURFACES TO RECEIVE NEW FINISHES, IF A NEW FINISH HAS BEEN SPECIFIED.
- WHERE EXTERIOR WALLS, WINDOWS, DOORS, OR ROOF PENETRATIONS OF EXISTING BUILDING ARE TO BE REMOVED, THE CONTRACTOR SHALL TAKE ALL PROPER PRECAUTIONS TO ENSURE THAT THE EXISTING BUILDING REMAINS WEATHERTIGHT DURING DEMOLITION AND CONSTRUCTION.
- REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS, DETAILS, AND SPECIFICATIONS FOR ADDITIONAL DEMOLITION REQUIREMENTS.

DEMOLITION KEYNOTES:

- | | | |
|---|---|--|
| 1 REMOVE EXISTING WINDOW IN ANTICIPATION OF NEW CONSTRUCTION. | 8 REMOVE EXISTING CABINETS AND COUNTERTOP THIS AREA. | 16 REMOVE EXISTING STAIR & HANDRAIL IN THEIR ENTIRETY. |
| 2 SAWCUT & REMOVE A PORTION OF EXISTING CONCRETE FLOOR SLAB AS REQUIRED FOR NEW CONSTRUCTION THIS AREA. | 9 REMOVE EXISTING DOOR & TRACKS IN THEIR ENTIRETY. | 17 REMOVE EXISTING DRAIN. CAP PIPE AS REQUIRED. |
| 3 REMOVE EXISTING HVAC EQUIPMENT & PLUMBING FIXTURES THIS AREA IN ANTICIPATION OF NEW CONSTRUCTION. ELECTRICAL PANEL TO REMAIN. PROTECT AS REQUIRED FROM DEMOLITION ACTIVITIES. | 10 REMOVE EXISTING FLOOR FINISH & BASE TRIM THIS AREA AS REQUIRED TO INSTALL NEW FINISHES. SEE FINISH SCHEDULE. PATCH EXISTING SURFACE TO REMAIN AS REQUIRED. | 18 REMOVE EXISTING FOUNDATION SYSTEM IN ITS ENTIRETY IN ANTICIPATION OF NEW CONSTRUCTION. |
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| 7 REMOVE ALL EXISTING PLUMBING FIXTURES, TOILET PARTITIONS, VANITIES, ACCESSORIES, ETC. THIS AREA | 14 REMOVE EXISTING WOOD SHIPLAP / PANELS THIS AREA. | |
| | 15 REMOVE EXISTING LOG COLLUMNS AND TRUSSES IN THEIR ENTIRETY. VERIFY RETENTION W/ OWNER PRIOR TO DEMOLITION. | |

**DEMOLITION
SECOND FLOOR PLAN**
3/16" = 1'-0"



- DEMOLITION PLAN KEY:**
- EXISTING WALLS TO REMAIN. PROTECT AS REQUIRED.
 - EXISTING WALLS TO BE REMOVED. VERIFY BEARING CONDITION PRIOR TO COMMENCING WALL REMOVAL. PROVIDE TEMPORARY SHORING AS REQUIRED. IF EXAMINATION REVEALS THAT NEW BEARING MEMBERS ARE REQUIRED THAT HAVE NOT BEEN SHOWN, THE ARCHITECT SHALL BE NOTIFIED TO DESIGN NEW BEARING MEMBERS PRIOR TO WALL REMOVAL.
 - AREAS SHADED THIS ARE EXISTING AREAS TO HAVE NO WORK IN THIS CONTRACT. PROTECT AS REQUIRED. REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES.

RETAIN OVERHANG
ELIMINATE OVERHANG



HELMAN SECHRIST ARCHITECTURE

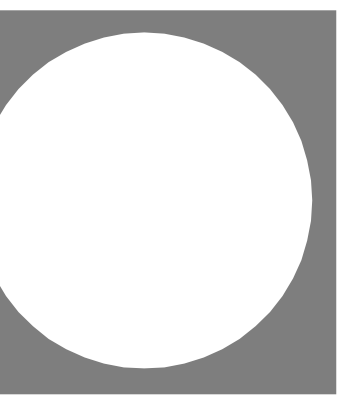
129 NORTH 2ND ST. ELKHART, IN 46516 (574) 294-6674 helmansechrist.com

Date: 27 MAY 2020

Revisions:

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ADDITIONS AND RENOVATIONS FOR

RAPIDVIEW

1828 OLSON ROAD ROCHESTER INDIANA 46975

Project No.:

1925

A6

Table with columns: DOOR NUMBER, ROOM NAME, SIZE, RCONE, MATERIAL, FINISH, GLAZING, FRAME, COMMENTS. Lists various rooms like VESTIBULE, RECEPTION, STAIR, etc.

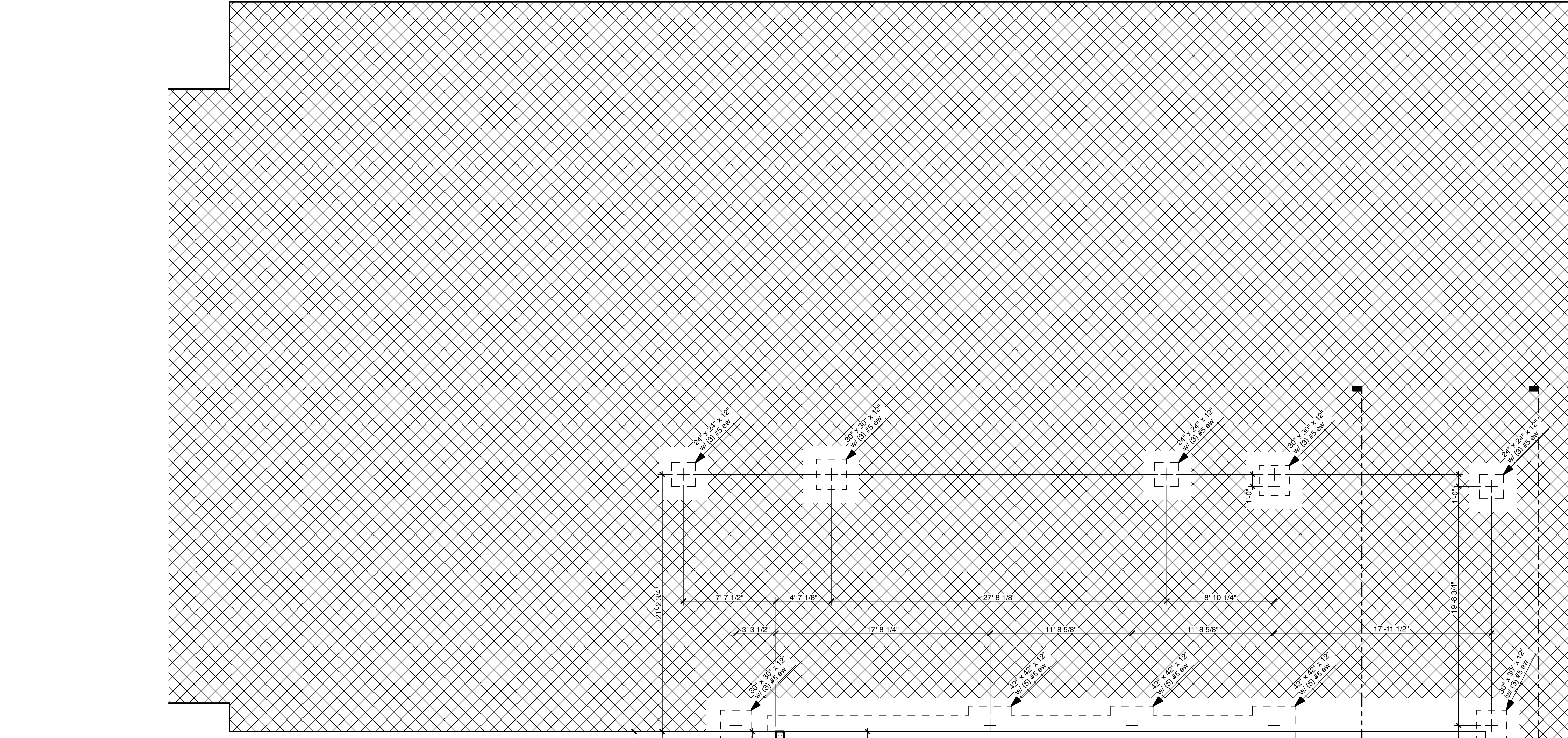
Table with columns: TYPE, HARDWARE. Lists hardware for exterior doors, interior doors, etc.

Table with columns: COMMENTS. Lists notes like 'EXTERIOR DOOR DOOR & FRAME TO BE INSULATED'.

* ALL DOOR FRAMES TO BE WELDED & REINFORCED FOR CLOSERS

* EXTERIOR DOORS & FRAMES TO BE GALVANIZED

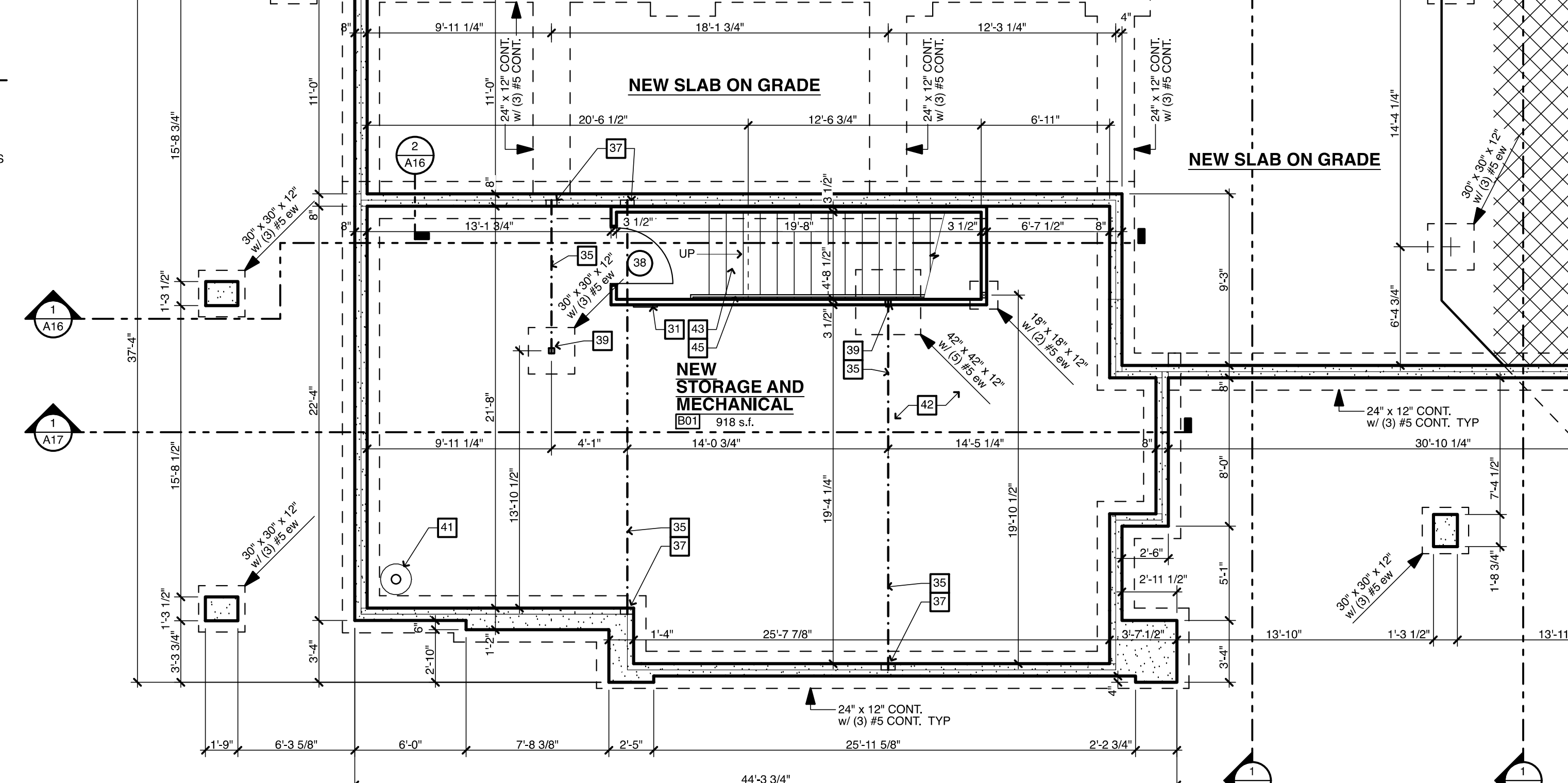
* ALREADY HAD FRAMES #1408 & 1398



FLOOR PLAN KEY NOTES

- 1 NEW BASE CABINETS & COUNTERTOPS AS DESIGNED BY CASEWORK PROVIDER. VERIFY CONFIGURATION W/ SHOP DRAWINGS.
2 NEW WALL CABINETS AS DESIGNED BY CASEWORK PROVIDER. VERIFY CONFIGURATION W/ SHOP DRAWINGS. PROVIDE BLOCKING IN WALL AS REQUIRED.

- 33 NEW LOCATION FOR RELOCATED DOOR.
34 NEW HANGING ROD & MELAMINE SHELF.
35 NEW BEAM ABOVE. SEE FRAMING PLANS.
36 NEW ALUMINUM TUBE INTERIOR WINDOW. SEE SHOP DRAWINGS BY PROVIDER.



GENERAL FOUNDATION NOTES

- 1. HELMAN SECHRIST ARCHITECTURE HAS ADVISED THE OWNER TO OBTAIN A CERTIFIED GEOTECHNICAL SOILS ANALYSIS PRIOR TO CONSTRUCTION.
2. TERMITES CONTROL. TREAT PREPARED AREAS WITH TERMITICIDE AT PERMETER OF FOUNDATION WALL AND PRIOR TO PLACEMENT OF SLABS ON GRADE AS RECOMMENDED AND WARRANTED BY THE PROVIDER.

Progressive Engineering Inc. 58640 State Road 15 Goshen, IN 46528 T. (574) 533-0337 - F. (574) 533-9736

Professional Engineer seal for Timothy A. Baldrige, Registered Professional Engineer, State of Indiana, No. PE1900097.



**HELMAN
SECHRIST
ARCHITECTURE**

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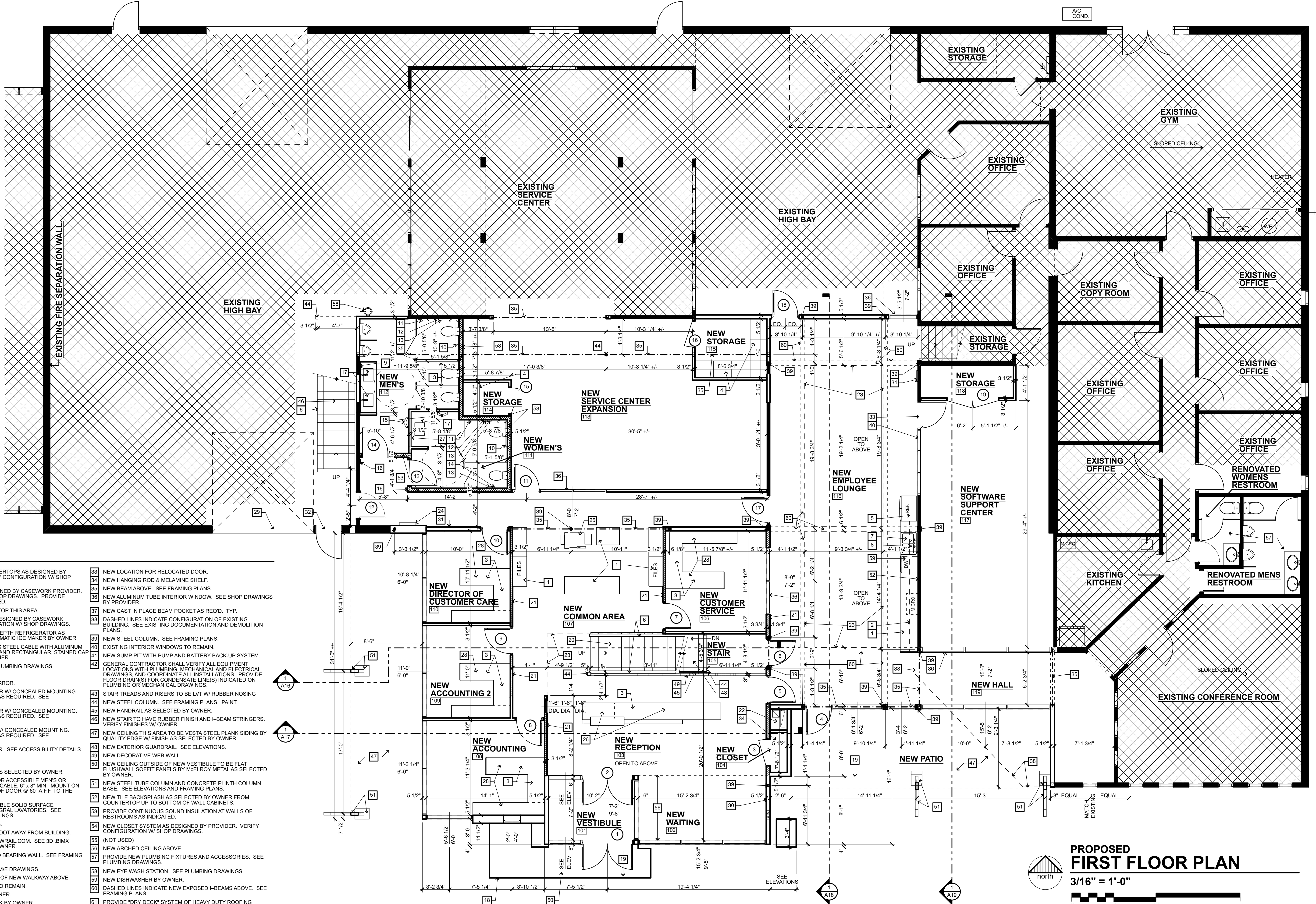
ADDITIONS
AND
RENOVATIONS
FOR

RAPIDVIEW

1828
OLSON ROAD
ROCHESTER
INDIANA
46975

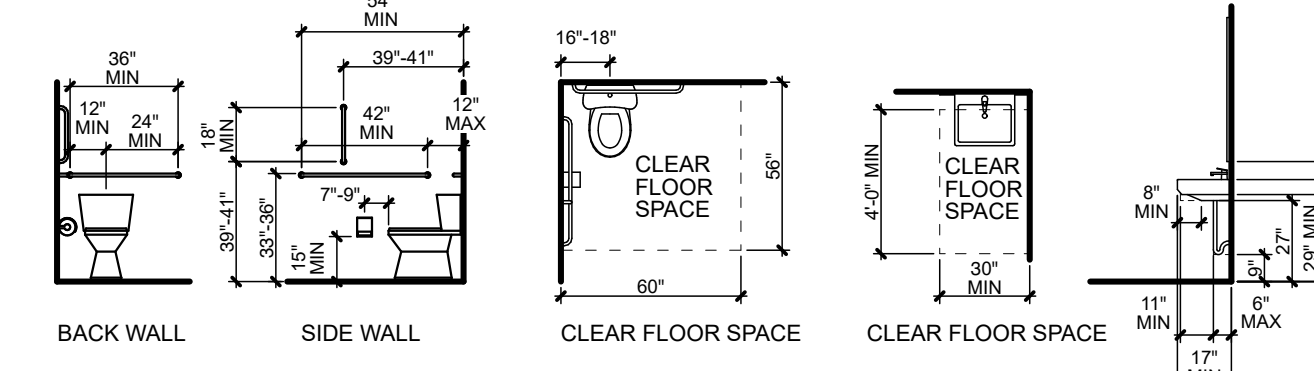
Project No.:
1925

A7



FLOOR PLAN KEY NOTES

- 1 NEW BASE CABINETS & COUNTERTOPS AS DESIGNED BY CASEWORK PROVIDER. VERIFY CONFIGURATION W/ SHOP DRAWINGS.
- 2 NEW WALL CABINETS AS DESIGNED BY CASEWORK PROVIDER. VERIFY CONFIGURATION W/ SHOP DRAWINGS. PROVIDE BLOCKING IN WALLS AS REQUIRED.
- 3 KNEESPACE BELOW COUNTERTOP THIS AREA.
- 4 NEW STORAGE SHELVING AS DESIGNED BY CASEWORK PROVIDER. VERIFY CONFIGURATION W/ SHOP DRAWINGS.
- 5 NEW 36" WIDE, COUNTERTOP DEPTH REFRIGERATOR AS SELECTED BY OWNER W/ AUTOMATIC ICE MAKER BY OWNER.
- 6 NEW GUARDRAIL OF STAINLESS STEEL CABLE WITH ALUMINUM OR STAINLESS STEEL NEWELS AND RECTANGULAR, STAINED CAR RAIL. VERIFY FINISHES W/ OWNER.
- 7 NEW DUAL-BOWL SINK. SEE PLUMBING DRAWINGS.
- 8 (NOT USED)
- 9 NEW 72" X 48" PLATE GLASS MIRROR.
- 10 NEW 36" HORIZONTAL GRAB BAR W/ CONCEALED MOUNTING. PROVIDE BLOCKING IN WALLS AS REQUIRED. SEE ACCESSIBILITY DETAILS.
- 11 NEW 42" HORIZONTAL GRAB BAR W/ CONCEALED MOUNTING. PROVIDE BLOCKING IN WALLS AS REQUIRED. SEE ACCESSIBILITY DETAILS.
- 12 NEW 18" VERTICAL GRAB BAR W/ CONCEALED MOUNTING. PROVIDE BLOCKING IN WALLS AS REQUIRED. SEE ACCESSIBILITY DETAILS.
- 13 NEW TOILET TISSUE DISPENSER. SEE ACCESSIBILITY DETAILS FOR MOUNTING.
- 14 (NOT USED)
- 15 NEW WARM AIR HAND DRYER AS SELECTED BY OWNER.
- 16 NEW SIGN TO HAVE SYMBOL FOR ACCESSIBLE MENS OR WOMENS RESTROOM AS APPLICABLE. 6" x 8" MIN. MOUNT ON THE WALL AT THE HINGE SIDE OF DOOR @ 60" A.F.F. TO THE CENTER OF SIGN.
- 17 NEW WALL-MOUNTED ACCESSIBLE SOLID SURFACE COUNTERTOP, BRACES, & INTEGRAL LAVATORIES. SEE CASEWORK & PLUMBING DRAWINGS.
- 18 LINE OF NEW ROOF OVERHANG.
- 19 SLOPE PORCH SLAB 1/8" PER FOOT AWAY FROM BUILDING.
- 20 NEW OPEN RISER STAIR BY VIEWRAIL.COM. SEE 3D BIM MODEL. VERIFY FINISHES W/ OWNER.
- 21 SHADING INDICATES NEW LOAD BEARING WALL. SEE FRAMING PLANS.
- 22 NEW VERTICAL CHASE. SEE P/M/E DRAWINGS.
- 23 DASHED LINES INDICATE EDGE OF NEW WALKWAY ABOVE.
- 24 EXISTING ELECTRICAL PANEL TO REMAIN.
- 25 NEW COPIER / PRINTER BY OWNER.
- 26 NEW CUSTOM RECEPTION DESK BY OWNER.
- 27 NEW 49 3/4" X 48" PLATE GLASS MIRROR.
- 28 NEW OFFICE DESK SYSTEMS BY OWNER.
- 29 EXISTING DOOR TO REMAIN.
- 30 PROVIDE BLOCKING IN WALL FOR OWNER PROVIDED WALL-MOUNTED FLAT-SCREEN TV THIS AREA.
- 31 NEW RECESSED CABINET MOUNTED FIRE EXTINGUISHER. 5# ABC TYPE MIN.
- 32 EXISTING DOOR TO REMAIN. PAINT DOOR AND FRAME TO MATCH ADJACENT METAL SIDING.
- 33 NEW LOCATION FOR RELOCATED DOOR.
- 34 NEW HANGING ROD & MELAMINE SHELF.
- 35 NEW BEAM ABOVE. SEE FRAMING PLANS.
- 36 NEW ALUMINUM TUBE INTERIOR WINDOW. SEE SHOP DRAWINGS BY PROVIDER.
- 37 NEW CAST IN PLACE BEAM POCKET AS REQ'D. TYP.
- 38 DASHED LINES INDICATE CONFIGURATION OF EXISTING BUILDING. SEE EXISTING DOCUMENTATION AND DEMOLITION PLANS.
- 39 NEW STEEL COLUMN. SEE FRAMING PLANS.
- 40 EXISTING INTERIOR WINDOWS TO REMAIN.
- 41 NEW SUMP PIT WITH PUMP AND BATTERY BACK-UP SYSTEM.
- 42 GENERAL CONTRACTOR SHALL VERIFY ALL EQUIPMENT LOCATIONS WITH PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS, AND COORDINATE ALL INSTALLATIONS. PROVIDE FLOOR DRAINS FOR CONDENSATE LINE(S) INDICATED ON PLUMBING OR MECHANICAL DRAWINGS.
- 43 STAIR TREADS AND RISERS TO BE LVT W/ RUBBER NOSING.
- 44 NEW STEEL COLUMN. SEE FRAMING PLANS. PAINT.
- 45 NEW HANDRAILS AS SELECTED BY OWNER.
- 46 NEW STAIR TO HAVE RUBBER FINISH AND I-BEAM STRINGERS. VERIFY FINISHES W/ OWNER.
- 47 NEW CEILING THIS AREA TO BE VESTA STEEL PLANK SIDING BY QUALITY EDGE W/ FINISH AS SELECTED BY OWNER.
- 48 NEW EXTERIOR GUARDRAIL. SEE ELEVATIONS.
- 49 NEW DECORATIVE WEB WALL.
- 50 NEW CEILING OUTSIDE OF NEW VESTIBULE TO BE FLAT FLUSHWALL SOFFIT PANELS BY MCELROY METAL AS SELECTED BY OWNER.
- 51 NEW STEEL TUBE COLUMN AND CONCRETE PLINCH COLUMN BASE. SEE ELEVATIONS AND FRAMING PLANS.
- 52 NEW TILE BACKSPLASH AS SELECTED BY OWNER FROM COUNTERTOP UP TO BOTTOM OF WALL CABINETS.
- 53 PROVIDE CONTINUOUS SOUND INSULATION AT WALLS OF RESTROOMS AS INDICATED.
- 54 NEW CLOSET SYSTEM AS DESIGNED BY PROVIDER. VERIFY CONFIGURATION W/ SHOP DRAWINGS.
- 55 (NOT USED)
- 56 NEW ARCHED CEILING ABOVE.
- 57 PROVIDE NEW PLUMBING FIXTURES AND ACCESSORIES. SEE PLUMBING DRAWINGS.
- 58 NEW EYE WASH STATION. SEE PLUMBING DRAWINGS.
- 59 NEW DISHWASHER BY OWNER.
- 60 DASHED LINES INDICATE NEW EXPOSED I-BEAMS ABOVE. SEE FRAMING PLANS.
- 61 PROVIDE "DRY DECK" SYSTEM OF HEAVY DUTY ROOFING MEMBRANE W/ 2x PRESSURE TREATED WOOD SLEEPERS & MAINTENANCE FREE DECKING OR OTHER SIMILAR SYSTEM AS APPROVED BY OWNER & ARCHITECT. SLOPE ALL SUB-SURFACE FRAMING TO DRAIN AT A MIN. RATE OF 1/4" PER FOOT.



ACCESSIBILITY CRITERIA AND FIXTURES
3/16" = 1'-0"

**PROPOSED
FIRST FLOOR PLAN**
3/16" = 1'-0"

FIRST FLOOR NEW AREA:	1,875 S.F.
FIRST FLOOR RENOVATED AREA:	2,567 S.F.
SECOND FLOOR NEW AREA:	1,702 S.F.
SECOND FLOOR RENOVATED AREA:	1,564 S.F.
BASEMENT NEW AREA:	918 S.F.

- WALL KEY:**
- EXISTING WALLS TO REMAIN. PROTECT AS REQUIRED.
 - NEW 2X METAL STUDS @ 16" O.C.
 - NEW REINFORCED CONCRETE FOUNDATION WALL. SEE FOUNDATION DRAWINGS.



HELMAN SECHRIST ARCHITECTURE

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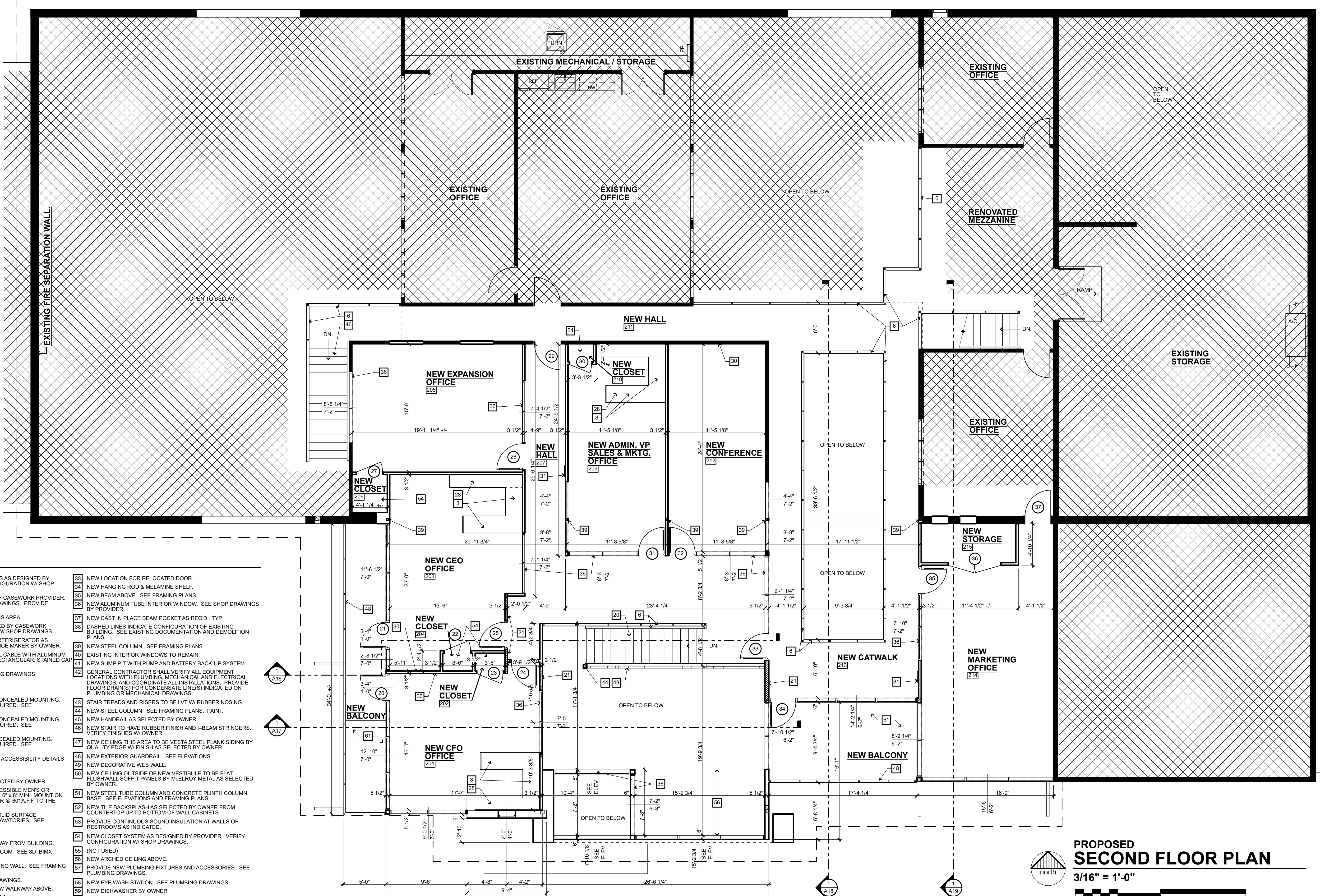
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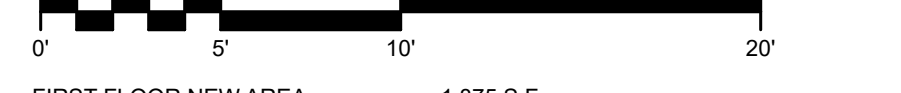


FLOOR PLAN KEY NOTES

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- 5 NEW 36" WIDE, COUNTERTOP DEPTH REFRIGERATOR AS SELECTED BY OWNER W/ AUTOMATIC ICE MAKER BY OWNER.
- 6 NEW GUARDRAIL OF STAINLESS STEEL CABLE WITH ALUMINUM OR STAINLESS STEEL NEWELS AND RECTANGULAR, STAINED CAP RAIL. VERIFY FINISHES W/ OWNER.
- 7 NEW DUAL-BOWL SINK. SEE PLUMBING DRAWINGS.
- 8 (NOT USED)
- 9 NEW 72" X 48" PLATE GLASS MIRROR.
- 10 NEW 36" HORIZONTAL GRAB BAR W/ CONCEALED MOUNTING. PROVIDE BLOCKING IN WALLS AS REQUIRED. SEE ACCESSIBILITY DETAILS.
- 11 NEW 42" HORIZONTAL GRAB BAR W/ CONCEALED MOUNTING. PROVIDE BLOCKING IN WALLS AS REQUIRED. SEE ACCESSIBILITY DETAILS.
- 12 NEW 18" VERTICAL GRAB BAR W/ CONCEALED MOUNTING. PROVIDE BLOCKING IN WALLS AS REQUIRED. SEE ACCESSIBILITY DETAILS.
- 13 NEW TOILET TISSUE DISPENSER. SEE ACCESSIBILITY DETAILS FOR MOUNTING.
- 14 (NOT USED)
- 15 NEW WARM AIR HAND DRYER AS SELECTED BY OWNER.
- 16 NEW SIGN TO HAVE SYMBOL FOR ACCESSIBLE MENS OR WOMEN'S RESTROOM AS APPLICABLE. 6" X 8" MIN. MOUNT ON THE WALL AT THE HINGE SIDE OF DOOR @ 60" A.F.F. TO THE CENTER OF SIGN.
- 17 NEW WALL-MOUNTED ACCESSIBLE SOLID SURFACE COUNTERTOP, BRACES, & INTEGRAL LAVATORIES. SEE CASEWORK & PLUMBING DRAWINGS.
- 18 LINE OF NEW ROOF OVERHANG.
- 19 SLOPE PORCH SLAB 1/8" PER FOOT AWAY FROM BUILDING.
- 20 NEW OPEN RISER STAIR BY VIEWRAIL.COM. SEE 3D BIMX MODEL. VERIFY FINISHES W/ OWNER.
- 21 SHADING INDICATES NEW LOAD BEARING WALL. SEE FRAMING PLANS.
- 22 NEW VERTICAL CHASE. SEE P/M/E DRAWINGS.
- 23 DASHED LINES INDICATE EDGE OF NEW WALKWAY ABOVE.
- 24 EXISTING ELECTRICAL PANEL TO REMAIN.
- 25 NEW COPIER / PRINTER BY OWNER.
- 26 NEW CUSTOM RECEPTION DESK BY OWNER.
- 27 NEW 48 3/4" X 48" PLATE GLASS MIRROR.
- 28 NEW OFFICE DESK SYSTEMS BY OWNER.
- 29 EXISTING DOOR TO REMAIN.
- 30 PROVIDE BLOCKING IN WALL FOR OWNER PROVIDED WALL-MOUNTED FLAT-SCREEN TV THIS AREA.
- 31 NEW RECESSED CABINET MOUNTED FIRE EXTINGUISHER: 5# ABC TYPE MIN.
- 32 EXISTING DOOR TO REMAIN. PAINT DOOR AND FRAME TO MATCH ADJACENT METAL SIDING.
- 33 NEW LOCATION FOR RELOCATED DOOR.
- 34 NEW HANGING ROD & MELAMINE SHELF.
- 35 NEW BEAM ABOVE. SEE FRAMING PLANS.
- 36 NEW ALUMINUM TUBE INTERIOR WINDOW. SEE SHOP DRAWINGS BY PROVIDER.
- 37 NEW CAST IN PLACE BEAM POCKET AS RECD. TYP.
- 38 DASHED LINES INDICATE CONFIGURATION OF EXISTING BUILDING. SEE EXISTING DOCUMENTATION AND DEMOLITION PLANS.
- 39 NEW STEEL COLUMN. SEE FRAMING PLANS.
- 40 EXISTING INTERIOR WINDOWS TO REMAIN.
- 41 NEW SUMP PIT WITH PUMP AND BATTERY BACK-UP SYSTEM.
- 42 GENERAL CONTRACTOR SHALL VERIFY ALL EQUIPMENT LOCATIONS WITH PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS, AND COORDINATE ALL INSTALLATIONS. PROVIDE FLOOR DRAIN(S) FOR CONDENSATE LINE(S) INDICATED ON PLUMBING OR MECHANICAL DRAWINGS.
- 43 STAIR TREADS AND RISERS TO BE LVT W/ RUBBER NOSING.
- 44 NEW STEEL COLUMN. SEE FRAMING PLANS. PAINT.
- 45 NEW HANDRAILS SELECTED BY OWNER.
- 46 NEW STAIR TO HAVE RUBBER FINISH AND I-BEAM STRINGERS. VERIFY FINISHES W/ OWNER.
- 47 NEW CEILING THIS AREA TO BE VESTA STEEL PLANK SIDING BY QUALITY EDGE W/ FINISH AS SELECTED BY OWNER.
- 48 NEW EXTERIOR GUARDRAIL. SEE ELEVATIONS.
- 49 NEW DECORATIVE WEB WALL.
- 50 NEW CEILING OUTSIDE OF NEW VESTIBULE TO BE FLAT FLUSHWALL SOFFIT PANELS BY McELROY METAL AS SELECTED BY OWNER.
- 51 NEW STEEL TUBE COLUMN AND CONCRETE PLINTH COLUMN BASE. SEE ELEVATIONS AND FRAMING PLANS.
- 52 NEW TILE BACKSPLASH AS SELECTED BY OWNER FROM COUNTERTOP UP TO BOTTOM OF WALL CABINETS.
- 53 PROVIDE CONTINUOUS SOUND INSULATION AT WALLS OF RESTROOMS AS INDICATED.
- 54 NEW CLOSET SYSTEM AS DESIGNED BY PROVIDER. VERIFY CONFIGURATION W/ SHOP DRAWINGS.
- 55 (NOT USED)
- 56 NEW ARCHED CEILING ABOVE.
- 57 PROVIDE NEW PLUMBING FIXTURES AND ACCESSORIES. SEE PLUMBING DRAWINGS.
- 58 NEW EYE WASH STATION. SEE PLUMBING DRAWINGS.
- 59 NEW DISHWASHER BY OWNER.
- 60 DASHED LINES INDICATE NEW EXPOSED I-BEAMS ABOVE. SEE FRAMING PLANS.
- 61 PROVIDE 'DRY DECK' SYSTEM OF HEAVY DUTY ROOFING MEMBRANE W/ 2x PRESSURE TREATED WOOD SLEEPERS & MAINTENANCE FREE DECKING OR OTHER SIMILAR SYSTEM AS APPROVED BY OWNER & ARCHITECT. SLOPE ALL SUB-SURFACE FRAMING TO DRAIN AT A MIN. RATE OF 1/4" PER FOOT.

PROPOSED SECOND FLOOR PLAN

3/16" = 1'-0"



FIRST FLOOR NEW AREA:	1,875 S.F.
FIRST FLOOR RENOVATED AREA:	2,567 S.F.
SECOND FLOOR NEW AREA:	1,702 S.F.
SECOND FLOOR RENOVATED AREA:	1,564 S.F.
BASEMENT NEW AREA:	918 S.F.

- WALL KEY:**
- EXISTING WALLS TO REMAIN. PROTECT AS REQUIRED.
 - NEW 2X METAL STUDS @ 16" O.C.
 - NEW REINFORCED CONCRETE FOUNDATION WALL. SEE FOUNDATION DRAWINGS.



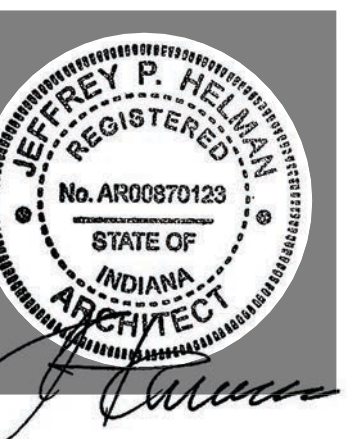
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helmansechrist.com

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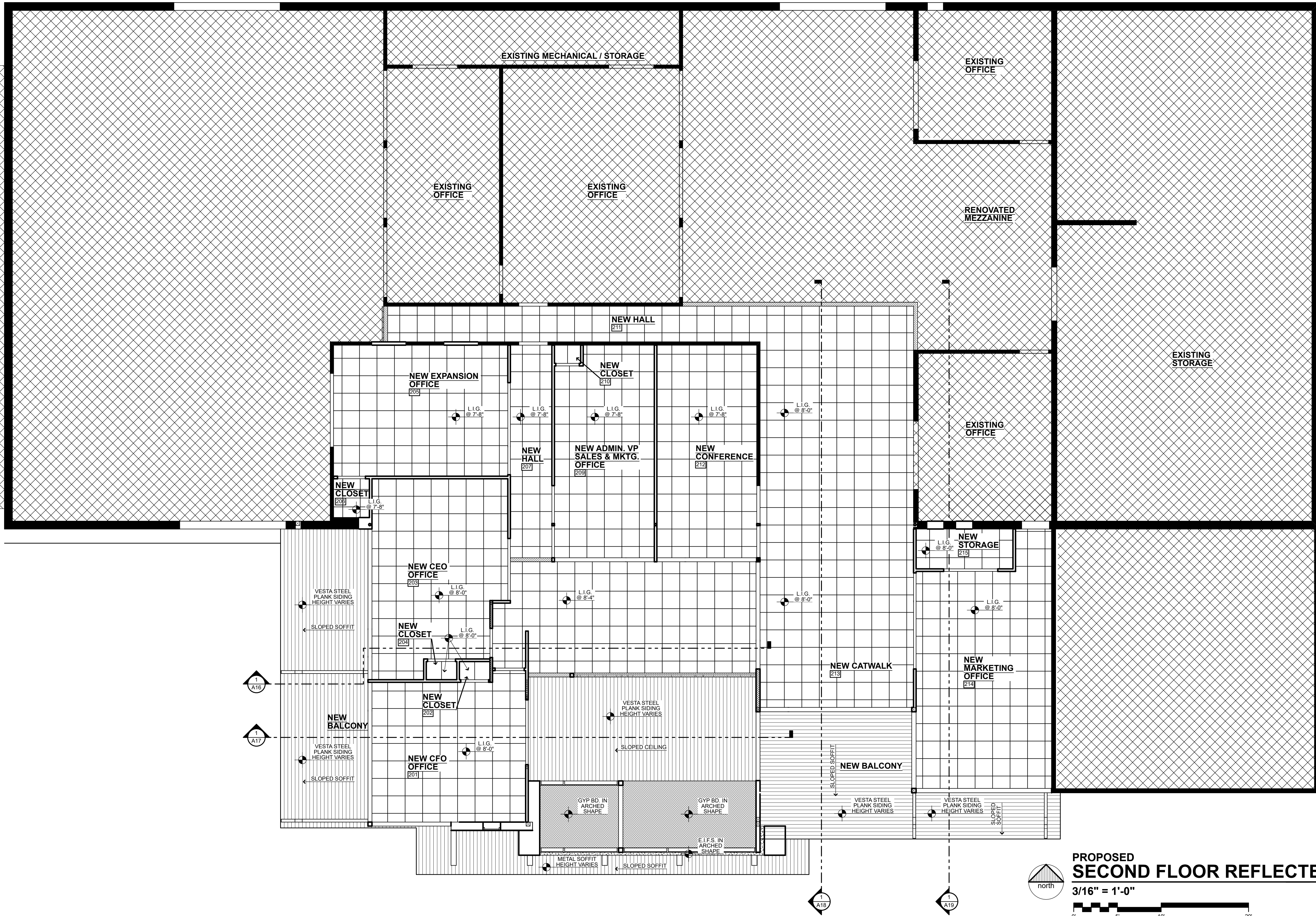
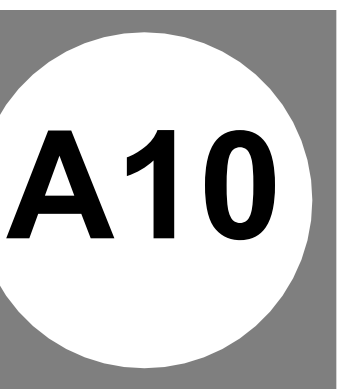


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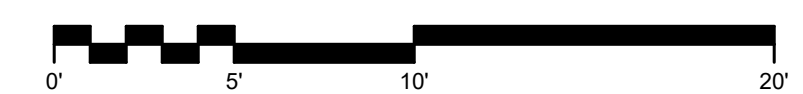
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**PROPOSED
SECOND FLOOR REFLECTED CEILING PLAN**

3/16" = 1'-0"



CEILING PLAN INFORMATION

AREAS TO HAVE NO WORK PERFORMED IN THIS CONTRACT. PROTECT FROM DEMOLITION & CONSTRUCTION ACTIVITIES.

NOTE: SEE ELECTRICAL AND MECHANICAL DRAWINGS FOR FIXTURE LOCATIONS.



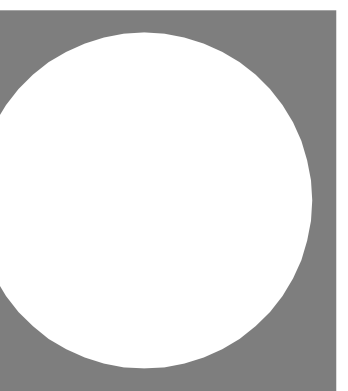
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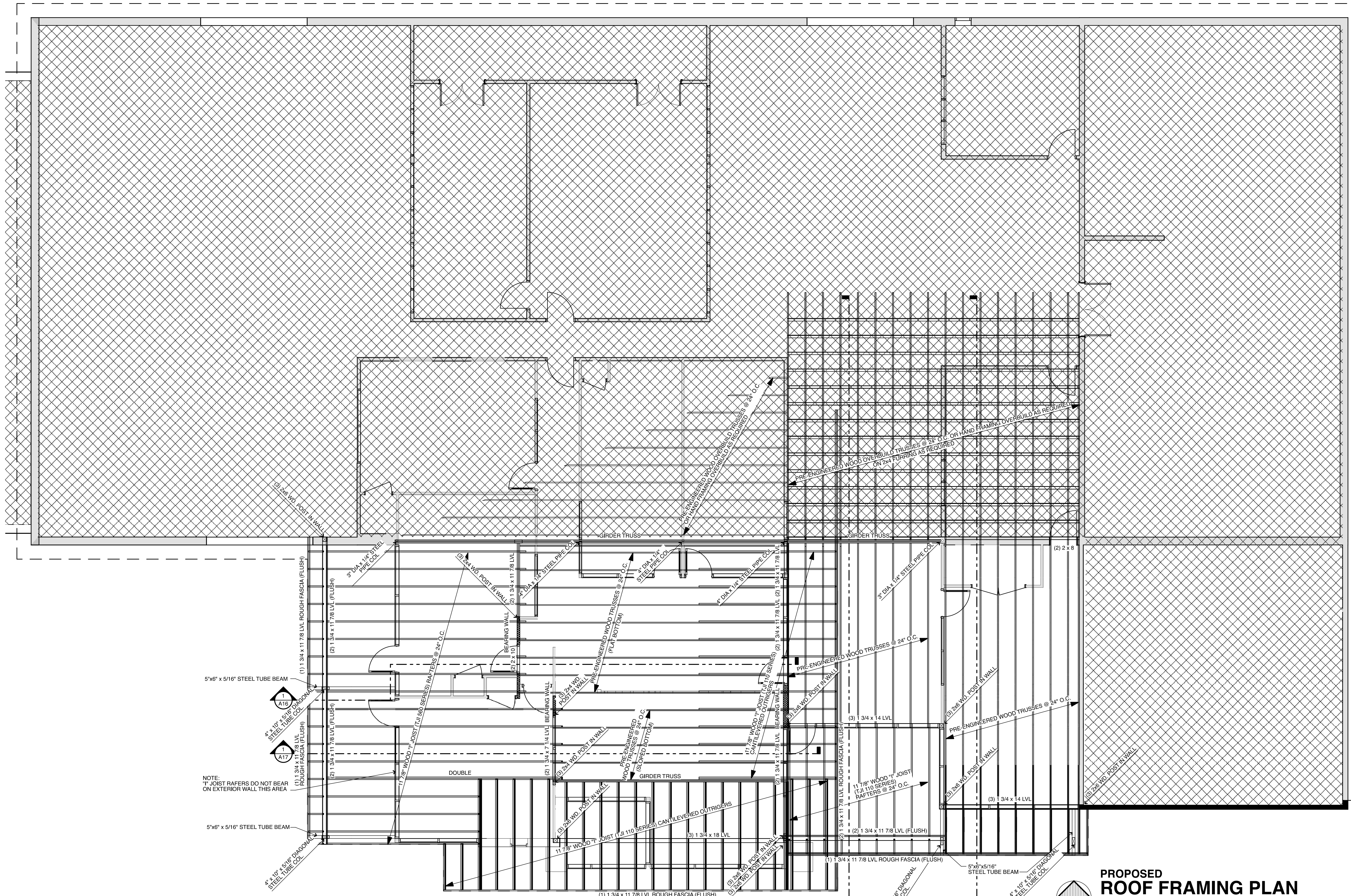
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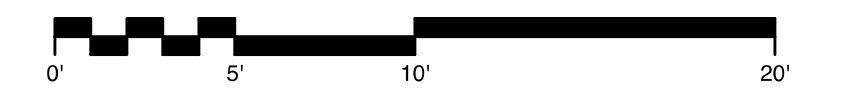
NOTE:
T-JOIST RAFTERS DO NOT BEAR
ON EXTERIOR WALL THIS AREA

ROOF FRAMING GENERAL NOTES

1. ALL TRUSSED ROOF AREAS SHALL BE AS DESIGNED BY THE MANUFACTURER, UTILIZING THE PLAN CONFIGURATION INDICATED HERE. ALL PERMANENT BRACING REQUIRED FOR THE TRUSS SYSTEM SHALL BE DESIGNED BY THE TRUSS DESIGNER. SEE WALL SECTIONS FOR ADDITIONAL REQUIREMENTS.
2. MISC. SECONDARY FRAMING MEMBERS ARE NOT INDICATED ON THIS DRAWING AND SHALL BE DETERMINED BY THE CONTRACTOR AND LUMBER PROVIDER.
3. PROVIDE WALKWAYS IN ATTIC SPACE AS REQUIRED FOR MAINTENANCE. TYP. ALL ATTIC AREAS.
4. ALL POINT LOADS INDICATED SHALL BE CONTINUOUSLY SUPPORTED THROUGH JOIST SPACE(S) AND FLOOR(S) BELOW TO FOUNDATION.
5. "LVL" MEMBERS SHALL BE 3100Fb / 2.0E OR BETTER DESIGN VALUES.
6. ALL WINDOW AND DOOR HEADERS SHALL BE AS NOTED ON THE PLAN. SEE WALL SECTION. PROVIDE A MINIMUM OF (2) X 6 JACK STUDS AT ALL OPENINGS OVER 4'-0" WIDE OR OTHER AS NOTED ON THE PLAN.
7. SEE WALL SECTIONS FOR MORE SPECIFIC INFORMATION.

**PROPOSED
ROOF FRAMING PLAN**

3/16" = 1'-0"



Progressive Engineering, Inc.
58640 State Road 15
Goshen, IN 46528
T. (574) 533-0337 - F. (574) 533-9736



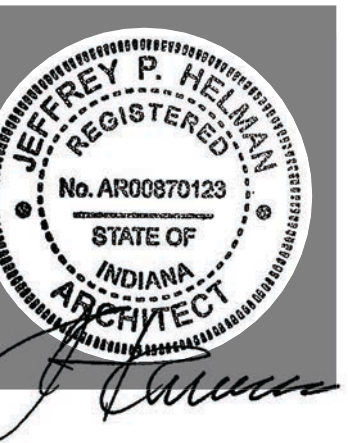
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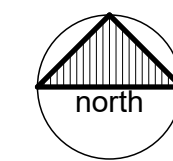
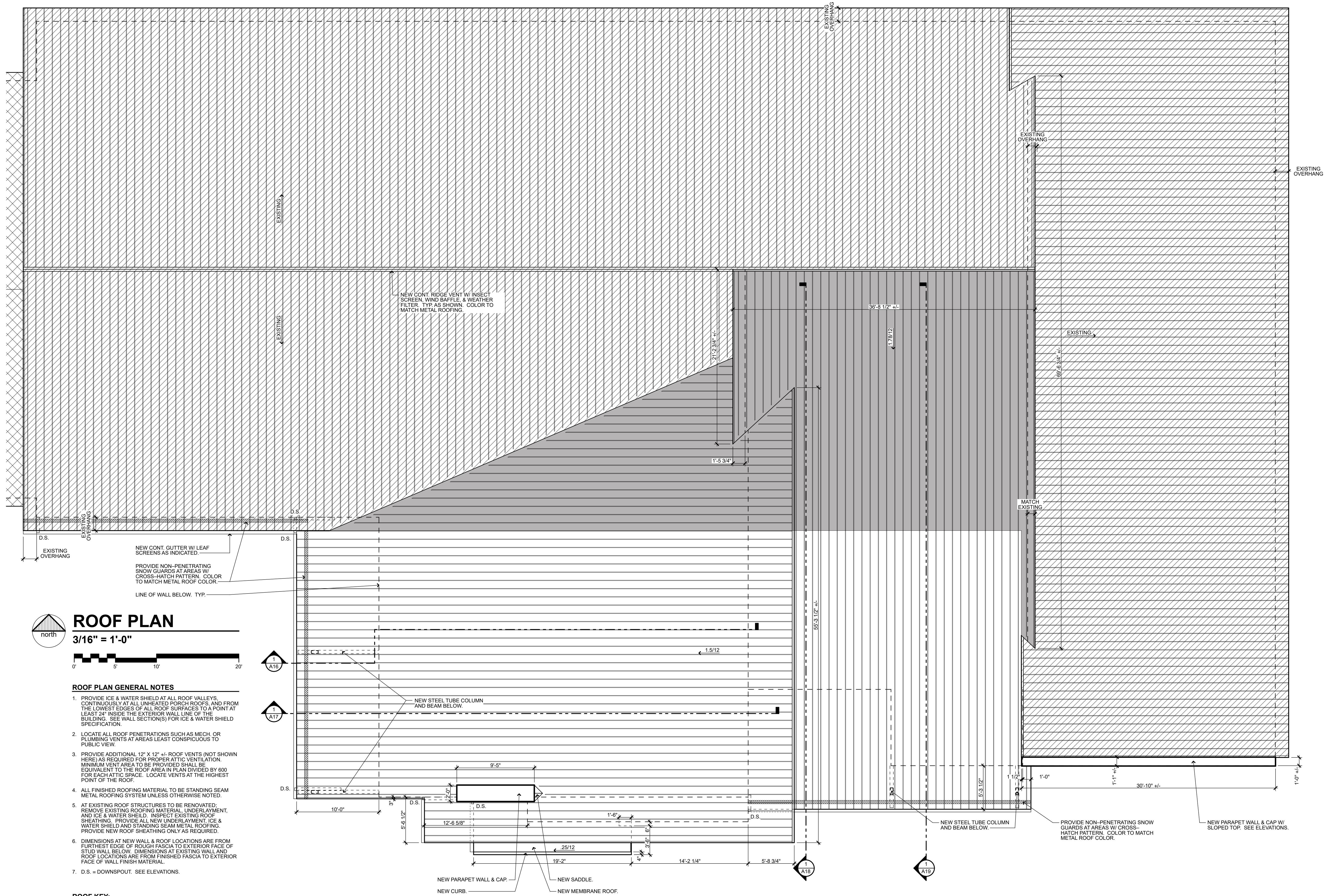


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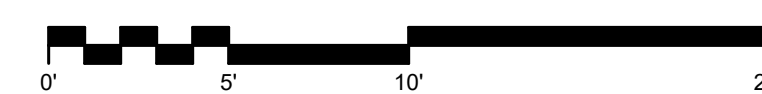
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ROOF PLAN

3/16" = 1'-0"



ROOF PLAN GENERAL NOTES

1. PROVIDE ICE & WATER SHIELD AT ALL ROOF VALLEYS, CONTINUOUSLY AT ALL UNHEATED PORCH ROOFS, AND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. SEE WALL SECTION(S) FOR ICE & WATER SHIELD SPECIFICATION.
2. LOCATE ALL ROOF PENETRATIONS SUCH AS MECH. OR PLUMBING VENTS AT AREAS LEAST CONSPICUOUS TO PUBLIC VIEW.
3. PROVIDE ADDITIONAL 12" X 12" +/- ROOF VENTS (NOT SHOWN HERE) AS REQUIRED FOR PROPER ATTIC VENTILATION. MINIMUM VENT AREA TO BE PROVIDED SHALL BE EQUIVALENT TO THE ROOF AREA IN PLAN DIVIDED BY 600 FOR EACH ATTIC SPACE. LOCATE VENTS AT THE HIGHEST POINT OF THE ROOF.
4. ALL FINISHED ROOFING MATERIAL TO BE STANDING SEAM METAL ROOFING SYSTEM UNLESS OTHERWISE NOTED.
5. AT EXISTING ROOF STRUCTURES TO BE RENOVATED, REMOVE EXISTING ROOFING MATERIAL, UNDERLAYMENT, AND ICE & WATER SHIELD. INSPECT EXISTING ROOF SHEATHING. PROVIDE ALL NEW UNDERLAYMENT, ICE & WATER SHIELD AND STANDING SEAM METAL ROOFING. PROVIDE NEW ROOF SHEATHING ONLY AS REQUIRED.
6. DIMENSIONS AT NEW WALL & ROOF LOCATIONS ARE FROM FURTHEST EDGE OF ROUGH FASCIA TO EXTERIOR FACE OF STUD WALL BELOW. DIMENSIONS AT EXISTING WALL AND ROOF LOCATIONS ARE FROM FINISHED FASCIA TO EXTERIOR FACE OF WALL FINISH MATERIAL.
7. D.S. = DOWNSPOUT. SEE ELEVATIONS.

ROOF KEY:

- EXISTING ROOF STRUCTURE TO REMAIN. REPLACE ROOF MATERIAL W/ STANDING SEAM METAL ROOFING AND PROVIDE NEW UNDERLAYMENT AND ICE & WATER SHIELD.
- EXISTING ROOF STRUCTURE TO BE OVERBUILT W/ NEW ROOF STRUCTURE.
- NEW ROOF STRUCTURE.
- VERIFY ANY WORK TO BE DONE AT THIS AREA. PROTECT AS REQUIRED IF NO WORK IS TO BE PERFORMED.



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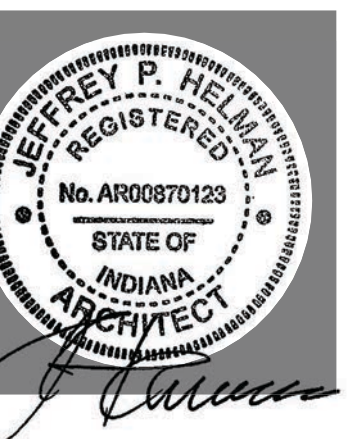
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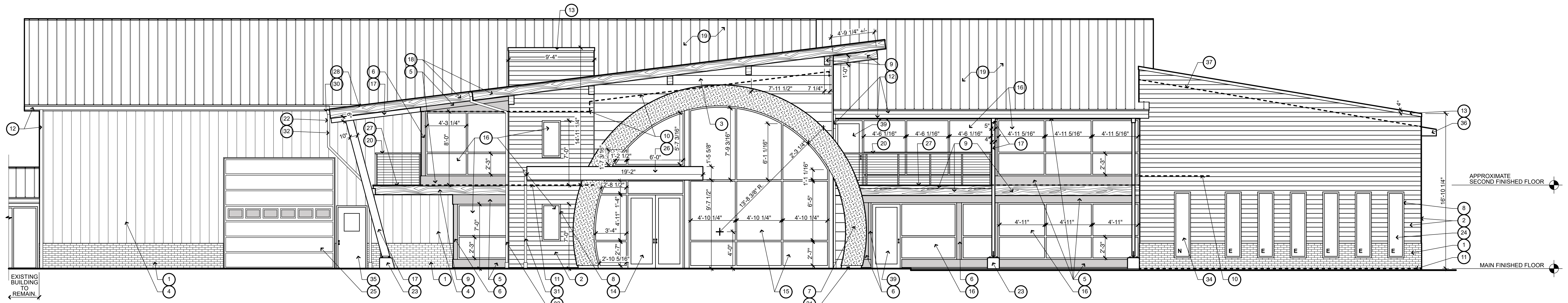
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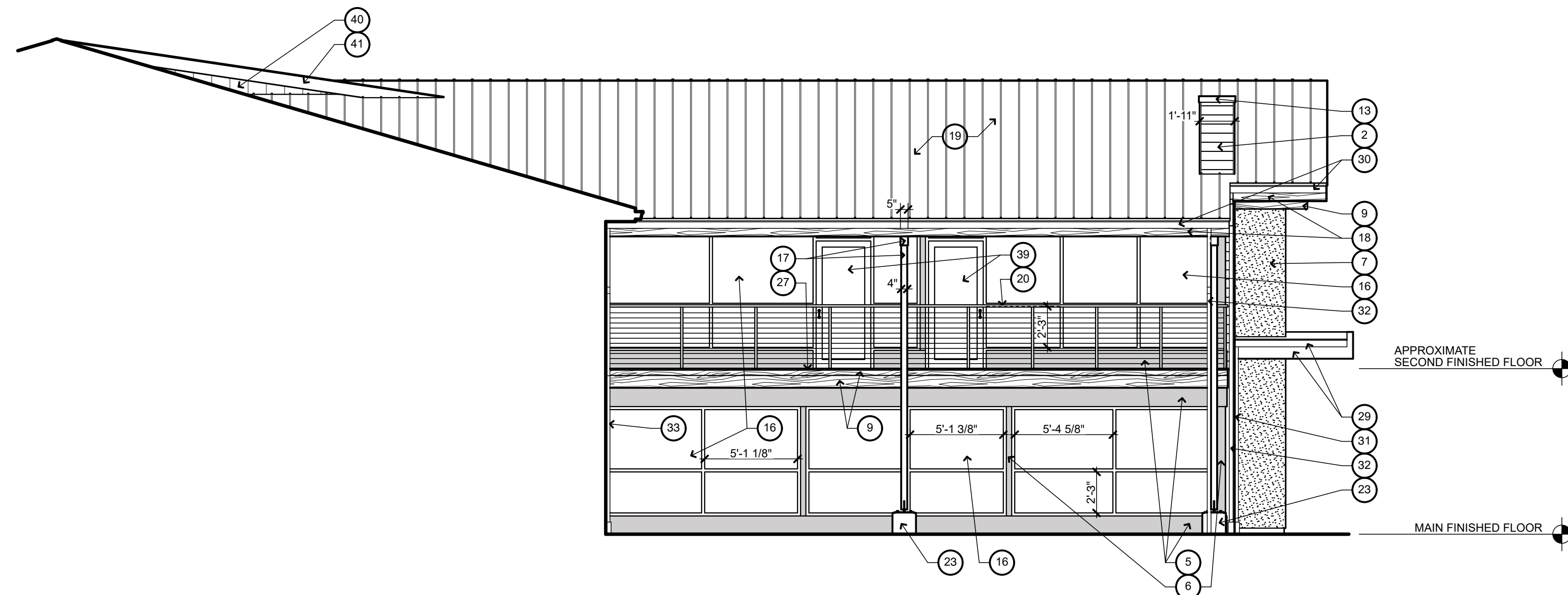
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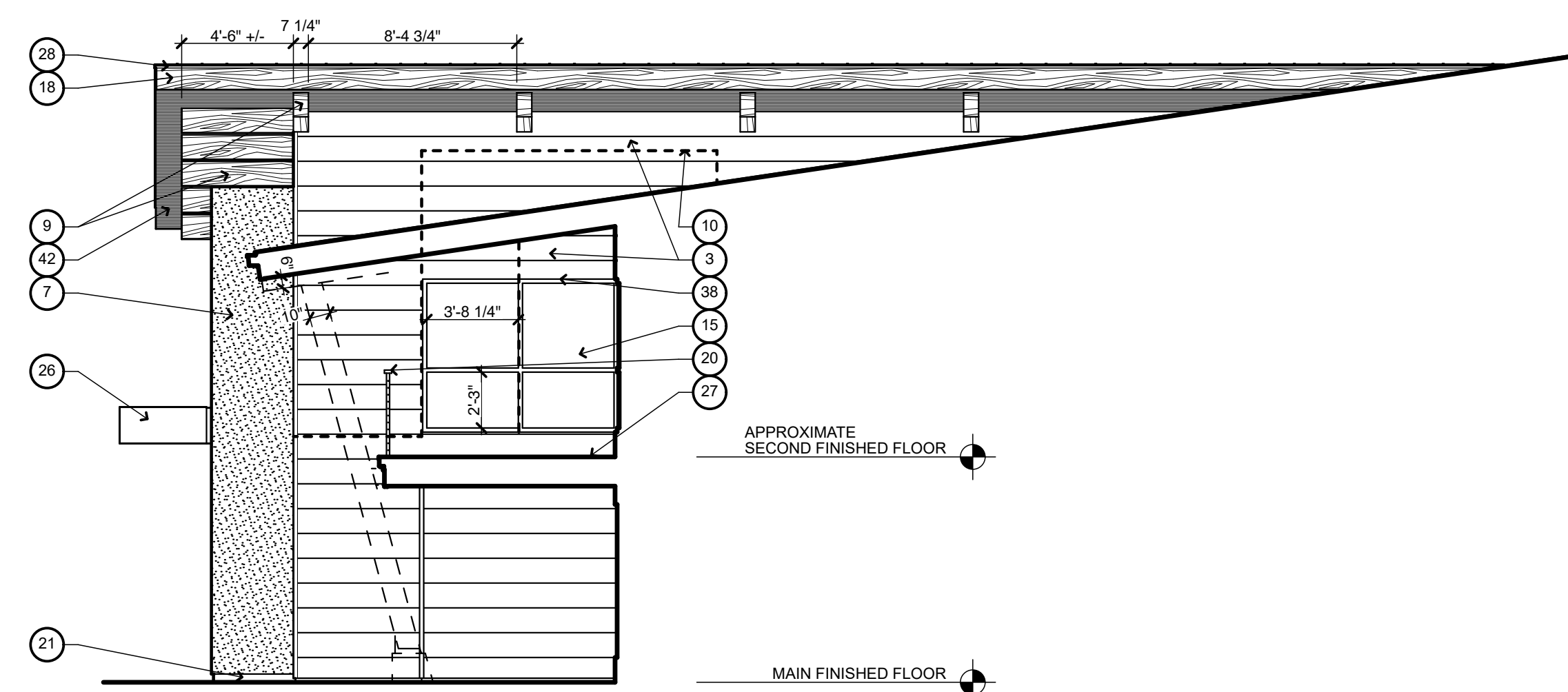


SOUTH ELEVATION
3/16" = 1'-0"

DIMENSION NOTE:
INTERNAL DIMENSIONS AT WINDOWS
DEPICT EXPOSED GLAZING SIZES.



WEST ELEVATION
3/16" = 1'-0"



EAST ELEVATION
3/16" = 1'-0"

ELEVATION KEY NOTES:

- A. ALL E.I.F.S. SHALL BE "WATER MANAGEMENT" TYPE SYSTEM WITH DRAINAGE CAVITY & SECONDARY WEATHER RESISTIVE BARRIER. E.I.F.S. CONTRACTOR SHALL PROVIDE PROOF OF INSURANCE TO PERFORM E.I.F.S. INSTALLATIONS AND CERTIFICATION OF COMPLETING AN INSTALLATION TRAINING COURSE BY THE E.I.F.S. MANUFACTURER.
- B. REFER TO WALL SECTIONS FOR MORE SPECIFIC INFORMATION ON ALL MATERIALS.
- C. ALL TRIM SHALL BE INSTALLED AS DIRECTED BY TRIM MANUFACTURER W/ FINISH NAILS PROVIDE FACTORY FINISHED MATERIAL AND ONE FINAL FIELD COAT OF ALL TRIM AFTER INSTALLATION. PROVIDE FLASHING AT HORIZONTAL SURFACES AND ALL OTHER AREAS AS SPECIFIED BY THE MANUFACTURER.
- 1 EXISTING BRICK VENEER PANEL TO REMAIN.
 - 2 NEW PRE-FINISHED PAC-CLAD SIDING. PROVIDE COLOR-MATCHED INSIDE AND OUTSIDE CORNER TRIMS. INSTALL AS DIRECTED BY SIDING MANUFACTURER.
 - 3 NEW FLAT, FLUSHWALL SOFFIT PANELS BY "MELROY METAL" AS SELECTED BY OWNER.
 - 4 EXISTING VERTICAL METAL SIDING TO REMAIN.
 - 5 NEW 5/4x SMOOTH PVC TRIM OR BREAK METAL AS REQUIRED. PAINT TO MATCH WINDOW CLADDING. PAINT TO HAVE HEAT REFLECTIVE CHARACTERISTIC SPECIFICALLY FORMULATED FOR USE ON VINYL/PVC PRODUCTS.
 - 6 NEW 1x SMOOTH PVC TRIM, PANEL OR BREAK METAL AS REQUIRED. PAINT TO MATCH WINDOW CLADDING. PAINT TO HAVE HEAT REFLECTIVE CHARACTERISTIC SPECIFICALLY FORMULATED FOR USE ON VINYL/PVC PRODUCTS.
 - 7 NEW EXTERIOR INSULATION & FINISH SYSTEM W/ "FINE SANDPEBBLE" FINISH OR EQUAL ON 1 1/2" RIGID INSULATION. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
 - 8 NEW 5/8" EXPOSURE PRE-FINISHED SMOOTH ALUMINUM "F"-TRIM. TYPICAL ALL WINDOWS W/ ADJACENT PAC-CLAD SIDING.
 - 9 NEW PRE-FINISHED METAL COIL STOCK OVER WOOD BACKER AS REQUIRED. FINISH TO MATCH "VESTA STEEL PLANK SIDING".
 - 10 LINE OF CEILING BEYOND.

- 11 LINE OF FLOOR BEYOND.
- 12 NEW PRE-FINISHED METAL DRIP EDGE, FASCIA, STRAIGHT-FACED GUTTER AND DOWNSPOUTS. GUTTERS TO HAVE LEAF SCREENS. DOWNSPOUTS AS SHOWN. COLOR TO MATCH ADJACENT METAL ROOFING COLOR.
- 13 NEW PRE-FINISHED METAL CAP FLASHING. PROVIDE SLOPE FOR POSITIVE DRAINAGE. FINISH TO MATCH ADJACENT SIDING.
- 14 NEW ALUMINUM DOORS AND FRAMES W/ INSULATED GLASS AND CLEAR ANODIZED FINISH. VERIFY W/ SHOP DRAWINGS.
- 15 NEW ALUMINUM WINDOWS W/ INSULATED GLASS AND CLEAR ANODIZED FINISH. VERIFY W/ SHOP DRAWINGS.
- 16 NEW ALUMINUM WINDOWS W/ INSULATED GLASS AND DARK BRONZE ANODIZED FINISH. VERIFY W/ SHOP DRAWINGS.
- 17 NEW PAINTED, ANGLED STEEL COLUMN & BEAM W/ BOLTED CONNECTION PLATES. SEE FRAMING PLANS. FINISH TO MATCH DARK BRONZE ANODIZED WINDOWS.
- 18 NEW PRE-FINISHED METAL FASCIA TO MATCH "VESTA STEEL PLANK SIDING".
- 19 NEW STANDING SEAM METAL ROOFING SYSTEM. PROVIDE 12" SMOOTH (NON-BEADED) PANELS. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- 20 NEW GUARDRAIL OF STAINLESS STEEL CABLE WITH DARK BRONZE ANODIZED NEWELS AND RECTANGULAR, DARK BRONZE ANODIZED CAP RAIL.
- 21 NEW EXPOSED CONCRETE FOUNDATION WALL. PROVIDE RUBBED FINISH.
- 22 NEW PRE-FINISHED METAL DOWNSPOUT AT EXISTING WALL BEYOND. COLOR TO MATCH GUTTER.
- 23 NEW CONCRETE PLINTH COLUMN BASE. PROVIDE RUBBED FINISH.
- 24 EXISTING WINDOW TO REMAIN. E = EXISTING.
- 25 EXISTING INSULATED OVERHEAD STEEL paneled DOOR. PAINT DOOR AND FRAME TO MATCH ADJACENT SIDING.
- 26 NEW PRE-FINISHED METAL DRIP EDGE AND FASCIA TO MATCH FLAT, FLUSHWALL SOFFIT PANEL.

- 27 NEW DECKING OF MAINTENANCE FREE COMPOSITE DECKING MATERIAL OVER "DRY-DECK" DECKING SYSTEM. INSTALL DECKING W/ CONCEALED FASTENER SYSTEM. SEE WALL SECTION.
- 28 NEW PRE-FINISHED METAL DRIP EDGE. COLOR TO MATCH ADJACENT METAL ROOF COLOR.
- 29 NEW PRE-FINISHED METAL DRIP EDGE, FASCIA, AND STRAIGHT-FACED GUTTER. GUTTERS TO HAVE LEAF SCREENS. DOWNSPOUTS AS SHOWN. COLOR TO MATCH ADJACENT METAL ROOFING COLOR.
- 30 NEW PRE-FINISHED METAL DRIP EDGE AND STRAIGHT-FACED GUTTER. COLOR TO MATCH ADJACENT METAL ROOFING COLOR.
- 31 NEW PRE-FINISHED DOWNSPOUT. COLOR TO MATCH ADJACENT LONGBOARD SIDING COLOR.
- 32 NEW PRE-FINISHED METAL DOWNSPOUT. COLOR TO MATCH DARK BRONZE WINDOW COLOR.
- 33 NEW PRE-FINISHED DOWNSPOUT. COLOR TO MATCH EXISTING VERTICAL METAL SIDING.
- 34 NEW WINDOW TO MATCH EXISTING.
- 35 EXISTING DOOR TO REMAIN. PAINT DOOR AND FRAME TO MATCH ADJACENT SIDING.
- 36 EXISTING ROOF BEYOND TO REMAIN. PROVIDE NEW PRE-FINISHED METAL DRIP EDGE & FASCIA. COLOR TO MATCH ADJACENT METAL ROOF COLOR.
- 37 DASHED LINE INDICATES EXISTING ROOF BEYOND.
- 38 NEW 3/4" EXPOSURE PRE-FINISHED SMOOTH "F"-TRIM TO MATCH FLAT, FLUSHWALL SOFFIT PANELS BY "MELROY METAL" COLOR. TYPICAL THIS AREA ONLY.
- 39 NEW ALUMINUM DOORS AND FRAMES W/ INSULATED GLASS AND DARK BRONZE ANODIZED FINISH. VERIFY W/ SHOP DRAWINGS.
- 40 NEW VERTICAL METAL SIDING TO MATCH EXISTING.
- 41 NEW PRE-FINISHED METAL DRIP EDGE AND FASCIA. COLOR TO MATCH ADJACENT METAL ROOFING.
- 42 NEW PRE-FINISHED METAL SOFFIT TO BE VESTA STEEL PLANK SIDING BY "QUALITY EDGE".